



## CARMOUCHE CONSTRUCTION COMPANY

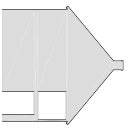
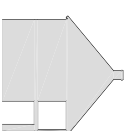
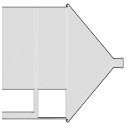
DEVELOPER

## ARCHITECTS SOUTHWEST

TOWN PLANNERS

Charrette Participants:

Kleinpeter Family, Richard Carmouche, Steve Oubre, Jeremy Arceneaux, Kevin Royston, Bao Tran, Kally Matrix, Greg Damico, Randy Roussel, Vyron Bernard, and Richard Hymel



## THE SETTLEMENT AT WILLOW GROVE PRINCIPLES

### THE FUNDAMENTALS OF NEW URBANISM

The method in which so many of our local ordinances are actualized effects every aspect of our daily lives and, therefore, directly affects our human behavior. The Settlement at Willow Grove believes that our built environment not only affects the visual aspects of our life but the patterns and types of choices we make as a result. This direct interdependence to the access of our daily, individual "life essentials" is worthy of monumental consideration.

Human response has been conditioned over the last fifty years to revolve around the automobile. While this has afforded great convenience, it has also managed to take the "humanness" out of our communities and civility out of our lives. The complexity of healthy town planning requires a thorough and diverse approach to properly address the process of problem identification and appropriate solution orientation.

### DESIGN PRINCIPLES

The best examples of developments that offer a sense of security, human relevance and comfort to the resident, are found in older towns - more specifically, small Southern towns. The way these small towns developed more than one hundred years ago were a matter of what made sense; what best accommodated the daily life of the individual. These towns were not concerned with the demands of the automobile but with the simple needs of the person.

Public gathering places, front porches and tree lined sidewalks emerged not from zoning ordinances but as obvious needs to be fulfilled. There were no case studies or paradigms to guide our fore-fathers in the planning of their community - they used common sense. They sought to find direct solutions to address the daily life functions of the people as well as to find relief from the climatic conditions of the region. They then constructed these structures in such a fashion to remain timelessly pleasing to the eye.

### THE MASTER PLAN

The Master Plan of Willow Grove seeks to define the community by means of strategies, drawings, and covenants. The Master Plan is the framework from which all growth shall be defined and nurtured. The need for such documents is to ensure that the original intent of the community is maintained throughout its construction, thereby stabilizing the historical integrity and functional continuity of the town.

The drawings will illustrate the standardized governing architectural styles and scale for the different types of structures. Generous variations will be allowed but only upon review by an architectural Design Review Board. The intent is not to create "cookie cutter" housing by any means, but rather to reflect a regional and historical benchmark.

Street sections and utility requirements will also be addressed in the drawings and in the covenants. Street sections refer to the spatial relationships of the buildings to the sidewalk, the trees to the road and ultimately to the pedestrian. Waivers and variances on the typical local setbacks are adopted to further enhance the character of the community.

Plazas, public buildings and parks will be an integral part of the Master Plan. Some plazas will serve as additional parking while other squares will remain strictly pedestrian. The public buildings and gathering halls will service social, cultural and religious activities or can be reserved by individuals for private use by the residents. Parks and linear green space will be woven within the development lending themselves to diversity and security.

### THE CODE

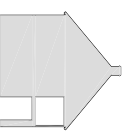
The codes adopted for the neo-traditional community are specific to the indigenous character of this development ensuring continuity and harmony. Most municipalities have utility and setback regulations based on the old subdivision models of the 1940's and 50's. These regulating standards will not support the neo-traditional model and must be revised.

Some of the elements that are universally addressed in the master planning phase is the control of building techniques, materials, on street parking and utility line placement. Equally as important is the flow of traffic through a network of interconnecting street grids. The idea is to eliminate dead-end roads and cul-de-sacs which limit access and breed confusion.

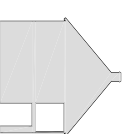
The disbursement of housing types will be of prime consideration. Affordable housing will not be placed in tracts or segregated locations. Instead, alternative options such as apartments over retail or office spaces will be allowed. This mixed use code structure will allow for flexibility as well as provide unique opportunities for single income housing.

The development of the property located within The Settlement at Willow Grove shall be governed by the provisions of the Master Declaration for The Settlement at Willow Grove. Additional rights, duties, and powers pertaining primarily to the single family Residential Property shall be set out in a Supplemental Declaration of Covenants, Conditions and Restrictions of The Settlement at Willow Grove (also referred to as the Residential Declaration). In addition, certain servitudes may be set out in the Access Servitude and Maintenance Agreement as to the Commercial Property. Finally, other Supplemental Declarations may be filed affecting the property or portions thereof, including but not limited to the PUD Approval Stipulations. All of these documents are public record and are recorded or will be recorded with the Office of the Clerk of Court and Recorder of Mortgages for East Baton Rouge Parish, Louisiana.

The Design Code is intended to supplement the provisions of the foregoing declarations by providing detailed architectural specifications. In the event of a conflict between any of the declarations mentioned above and the Design Code, the provisions of the recorded declaration shall prevail.

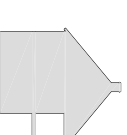


## THE SETTLEMENT AT WILLOW GROVE DESIGN CODE Baton Rouge, Louisiana



## P R I N C I P L E S

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11.19.06

## THE TRADITIONAL NEIGHBORHOOD ORDINANCE - THE SETTLEMENT AT WILLOW GROVE DEFINITIONS

As used in this Design Code, any capitalized terms not defined below shall have the meanings indicated in the Declaration of The Settlement at Willow Grove, such definitions being incorporated herein and made a part hereof. In addition, the following terms shall have the meanings indicated below:

### The Traditional Neighborhood Development (TND)

A) **Intent** - It is the intent of the Traditional Neighborhood Development that the design and development be encouraged to provide mixed residential, commercial, and planned development.

B) The traditional neighborhood shares the following conventions:

- 1) The neighborhood is physically understood and limited in scale.
- 2) Residences, shops, workplaces and civic buildings are located in the neighborhoods all in close proximity.
- 3) A hierarchy of streets serve the needs of the pedestrians and the automobile equitably.
- 4) Physically defined squares and parks provide places for formal social activity and recreation.
- 5) Private buildings on a clear edge delineating the public space and the block interior.
- 6) Civic buildings and squares reinforce the elements of the neighborhood becoming symbolic of community identity and providing places of purposeful assembly for social, cultural, and religious activities.

C) Traditional neighborhoods promote social objectives.

- 1) By bringing within walking distances most of the activities of daily living, including dwelling, shopping and working; the elderly and the young gain independence of movement.
- 2) By reducing the number and length of automotive trips, traffic congestion is minimized and road construction is limited. By organizing appropriate building densities public transit becomes a viable alternative to the automobile.
- 3) By providing defined public spaces such as streets and squares, citizens come to know each other and to watch over their collective security.
- 4) By providing a full range of housing types and work places, age and economic class are integrated and the bonds of an authentic community are formed.
- 5) By providing suitable civic buildings, democratic initiatives are encouraged and the balanced evolution of society is secured.

### Special Definitions

\* Important, Read these definitions before an attempt is made to apply this code. Terms within the TND ordinance often differ in their specific meaning from and take precedence over identical terms as defined in Zoning Codes.

**Balustrade:** An entire railing system as along the edge of a balcony, including a top rail and its balusters and sometimes a bottom rail.

**Bay Window:** A recessed or opening in a wall, an extension of a building wing.

**Bay:** A part of a structure as a building that is marked-off by vertical elements.

**Building Cover:** The horizontal land area occupied by a building at finished grade, excluding open porches, loggia, projections, and over-hangs of less than two feet.

**Carpport:** An open air structure with a weatherproof roof to shelter automobile no more than one story in height.

**Chamfered:** A right angle corner cut-off symmetrically at forty-five degrees.

**Cladding:** Exterior surface material of a building.

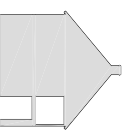
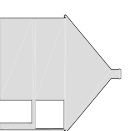
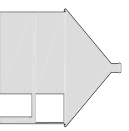
**Clapboard Siding:** A siding commonly used as an exterior covering on a building of frame construction applied horizontally and overlapped with the grain running lengthwise thicker along the lower edge than along the upper edge.

**Classical Proportions:** A series of ratios developed over the course of centuries and believed to result in pleasing proportions for buildings and building elements. Based on Greek and Roman principles, various systems for classical proportions were developed and modified through the centuries. In the United States a number of publications with these principles including The American Vignola.

**Classical Orders:** The design of systems of columns and cornices derived from Ancient Roman and Greek precedence defined by the trivials and modified by the ages by Italian, French, and English Architects. This system of columns controls the dimensions of the cornices they carry. Columns within The Settlement at Willow Grove are based upon Claude Perrault's ordinance of the five types of columns are Tuscan, Doric, Ionic, Corinthian and Composite.

**Colonnade:** A roofed structure supported by columns.

**Corinthian:** Designating the most ornate of the three classical orders of Architecture marked by a slender fluted column having an ornate bell-shaped capital decorated with acanthus leaves.



## THE TRADITIONAL NEIGHBORHOOD ORDINANCE - THE SETTLEMENT AT WILLOW GROVE DEFINITIONS

**Corner Lot:** A lot situated at the juncture of two or more streets.

**Cornice:** An ornamental molding at the meeting of the roof and wall, usually consist of bed molding, soffit fascia and crown molding.

**Courtyard:** an open - space surrounded by walls and buildings.

**Curb Radius:** The curved edge of the street at an intersection measured at the inner edge of the parking lane.

**Deck:** Any wooden platform without a solid roof structure.

**Dentil:** One of a series of small rectangular blocks forming an architectural molding or projecting beneath a cornice.

**Doric:** The column and entablature developed by the Dorian Greeks. Sturdy in proportion with a simple cushion capital.

**Dormers:** A structure projecting from a sloping roof usually housing a window or ventilating louver.

**DRB:** The Settlement at Willow Grove Design Review Board.

**Eaves:** The lowest overhanging part of sloping roof.

**Fascia:** The wall of a building parallel to and corresponding to a frontage line.

**Footprint:** The total area of structure as measured at the ground level. When enclosed space is located above a porch or cantilevered out from the lower floor, the footprint of heated and cooled space shall include the enclosed space on the upper level.

**Freeze:** A plain or decorated horizontal part of an entablature between the architrave and cornice.

**Frontage Line:** (Right-Of-Way, syn.) The lot line which coincides with the street track.

**Gable:** The vertical triangular portion of the end of a building having a double sloping roof from the level of the cornice or eaves to the ridge of the roof.

**Garage:** An enclosed structure to shelter automobile.

**Garden Structure:** Pavilions, gazebos, harbors, pergolas, and other similar structures no more than one story in height.

**Garden Wall:** An 8' high closure of a side or rear yard area with masonry, wrought iron, stucco, or wood where not viewed by the public.

**Hipped Roof:** A roof with slopes upward from all four sides of a building requiring a hip rafter at each corner.

**Ionic:** The classical order of Architecture designated by the Ionic Greeks, characterized by its capital with large volutes. Fasciated, entablature, continuous freeze usually dentil in the cornice and by its elegant detailing, less heavy than Doric.

**Light:** An aperture through which daylight is admitted into the interior of a building. A pane of glass, a window, or compartment of a window.

**Loggia:** A roofed but open gallery or arcade along the front or side of a building often at an upper level.

**Lot:** A separately platted portion of land containing a use- held privately.

**Main Body:** The largest part of the front fascia. It includes the front door of the house.

**Multi-family Residential:** Any dwelling structure consisting of more than one dwelling unit.

**Muntin:** A secondary framing member to hold panes with window, window wall, or glazed door.

**Neighborhood Proper:** The built-up area of a TND including blocks, streets, squares, and parks.

**Ogee Gutters:** A double curved formed by a union a convex and concave line resembling an S-shape.

**Out Looker:** A member which projects and supports that part of the roof construction beyond the face of gable.

**Out Building:** A separate building additional to the principal building, continuous with the rear lot line setback of a maximum of two-stories, and having a maximum building footprint of 650- 800 square feet (s.f.). Out buildings do not count against maximum building cover restrictions or unit counts.

**Overhead Connector:** A walk, deck, or similar structure that connects the house with an outbuilding or garden structure at any level other than the first floor.

**Patio:** A hard-surfaced area without a solid roof structure.

**Pediment:** A wide, low pitched gable surrounding the fascia of Grecian styled building.

**Pergola:** An open air garden structure with a trellis roof.

**Perimeter Lots:** Shall mean lots 32-51, 106-120.

**Porch, Gallery, Veranda:** A covered outdoor area attached to a house.

**Portal:** A large and imposing doorway entrance or gate.

**Portico:** A walkway or porch with a roof supported by columns, often at the entrance of a building.

**Primary Residence:** The primary dwelling structure on a lot.

**Private:** That which is neither public nor civic.

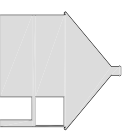
**Setback:** The placement of a building or structure from property line to exterior of wall. Roofs are permitted to overhang setback by 24", except where setback is 0'.

**Side-yard Setback:** The minimum distance from the side property line adjacent to another lot to any part of the house or ancillary structure.

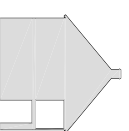
**Single Family Dwelling:** A dwelling consisting of one dwelling unit.

**Stairs:** are for the purpose of accessing floors or levels beyond the first floor.

**Stoops/Steps:** are for the purpose of accessing the first floor or level.

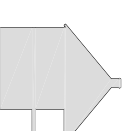


### THE SETTLEMENT AT WILLOW GROVE DESIGN CODE Baton Rouge, Louisiana



### DEFINITIONS

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## THE TRADITIONAL NEIGHBORHOOD ORDINANCE - THE SETTLEMENT AT WILLOW GROVE DEFINITIONS

**Story:** A habitat level within a building no more than fourteen feet in height from finished floor to finished ceiling.

**Street Vista:** The view framed by buildings at the termination of the axis of a street.

**Street Wall:** A masonry, wrought iron, or wood wall no less than seventy- five percent opaque built along the frontage line and between six and fourteen feet in height. Any opening must be gated. The percent opaqueness shall be calculated including all openings.

**Street Edge:** A masonry wall, wrought iron, wood fence, or hedge no less than fifty percent opaque built along the frontage line between three and five feet in height. Any wall, fence, or hedge built between the frontage line and a point even with the nearest enclosed edge of the house maybe of no greater height than the street edge. The percent capacity shall be calculated including all openings.

**Street Lamps:** A light standard between eight and fourteen feet in height equipped with an incandescent or metal halide light source.

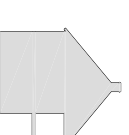
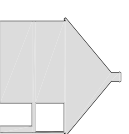
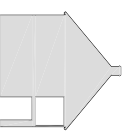
**Terrace:** An upper level outdoor living area without a solid roof.

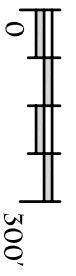
**Tower:** A small room, porch, or deck which protrude from the maximum height allowed for a residence.

**Townhouse:** A residential dwelling attached to a similar dwelling. (Also referred to as Rowhouse).

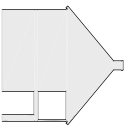
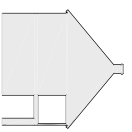
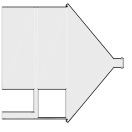
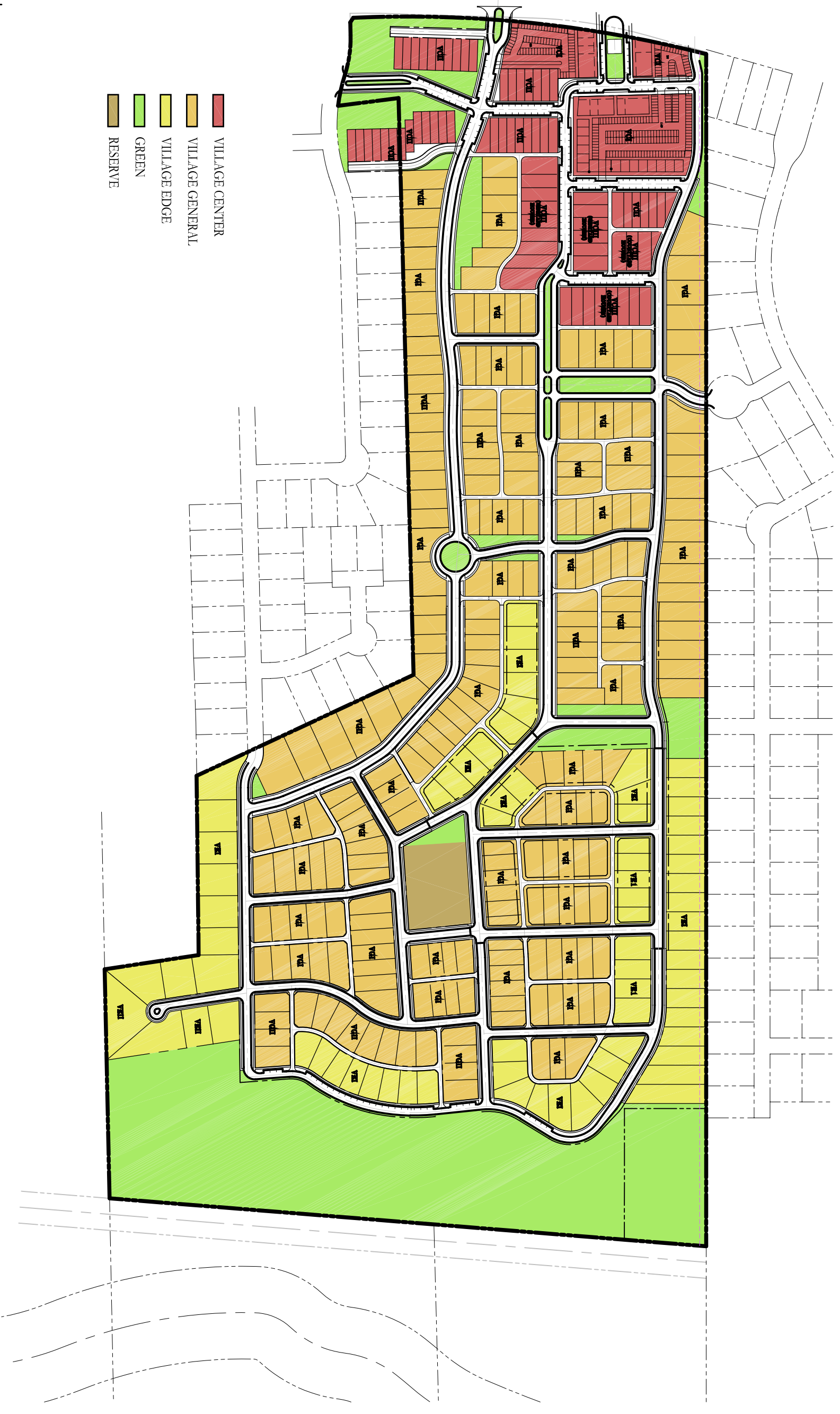
**Tract:** A separately platted portion of land containing a use held in common.

**Transom:** A small hinged window above another window or door. The horizontal cross piece to which such a window is hinged.





- VILLAGE CENTER
- VILLAGE GENERAL
- VILLAGE EDGE
- GREEN
- RESERVE



**THE SETTLEMENT AT WILLOW GROVE**  
**DESIGN CODE**  
 Baton Rouge, Louisiana

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**THE SETTLEMENT AT WILLOW GROVE**  
**URBAN REGULATION INSTRUCTIONS**

**Land Classifications**

The Design Code for The Settlement at Willow Grove is developed around The Transect, a system of land classifications described in The Lexicon of the New Urbanism, which incorporates a fine-grained network of lot distinctions. These characteristics follow the natural internal structure of an authentic neighborhood and serve to create the structure of the community of The Settlement at Willow Grove. This structure is expressed as three urban sectors: Village Center (VC), Village General (VG) and Village Edge (VE).

The Village Center (VC) is the focus of the neighborhood's civic buildings and social activity. It incorporates retail, workplaces, and more dense residential units, and it connects directly to other parts of the neighborhood through a network of carefully articulated vehicular and pedestrian thoroughfares. As such, it is the densest graining of land subdivision in the neighborhood. The streets are generally designed with formalized on street parking characterized by avenues and main streets. Buildings placed either at or near the right-of-way line, further reinforce the streets edge and public character.

The Village General (VG) is that element of the transect which focuses principally on residential use with a minimum of other potential uses and constitutes the majority of the type of the land uses at The Settlement at Willow Grove. Streets and boulevards generally characterize the thoroughfare makeup within the Village General.

The Village Edge (VE) is the least dense, purely residential, and characterized principally by its rural character. Generally more luxurious setbacks at its frontage, sides, and rear results in blocks of low-density edge yard treatment.

This Design Code creates an additional type of refined division within each of the individual described zones. For example, in the Village General is the Village General I (VG-I), Village General II (VG-II) and Village General III (VG-III). These further serve to support an additional device, which further alter the placement of buildings on a lot, producing varying planning textures and urban behavior. Reference is made to the Urban Regulation Instructions in this design code for further clarification.

	Village Context Zones									Horizontal Placement BTL: Build To Line (mandatory)
	Village Center			Village General			Village Edge			
	VCI	VCII	VCIII	VGI	VGII	VGIII	VEI	VEII	VEIII	
<b>Minimum Frontage Build-out</b>	100%			90%			75%			55%
<b>Commercial</b>	0 -5 BTL									Front (mandatory)
	0 BTL									Left
	0 BTL									Right
	10 BTL									Rear
<b>Livework</b>	0 -5 BTL		5 BTL							Front (mandatory)
	0 BTL		5							Left
	0 BTL		5							Right
	10 BTL		10							Rear
<b>Rowhouses</b>		3-5 BTL								Front (mandatory)
		0 BTL								Left
		0 BTL								Right
		9 BTL								Rear @ Alley
<b>Cottage / Village House</b>				7.5 BTL	10 BTL					Front (mandatory)
				5 min	5 min					Left
				5 min	5 min					Right
				14 min	14 min					Side @ corner lot @ alley
				9 min - 14 max	9 min - 14 max					Rear @ Alley
<b>Neighborhood House</b>				7.5 BTL	10 BTL			15 BTL		Front (mandatory)
				5 min	5 min			5 min		Left
				5 min	5 min			5 min		Right
				14 min	14 min			14 min		Side @ corner lot @ alley
				9 min - 14 max	9 min - 14 max			9 min - 14 max		Rear @ Alley
<b>Courtyard House (Zero Lot Line)</b>			5 BTL							Front (mandatory)
			0 BTL							"0" Side
			5 min							Opposite Side
			9 min							Side @ corner lot @ alley
			9 min - 12 max							Rear @ Alley
<b>Sideyard House (Zero Lot Line)</b>			5 BTL							Front (mandatory)
			0 BTL							"0" Side
			14 min							Opposite Side
			9 min							Side @ corner lot @ alley
			9 min - 12 max							Rear @ Alley
<b>Manor House</b>								20 BTL		Front (mandatory)
								5 min		Left
								5 min		Right
								5 min		Left and Right
								9 - 14 BTL		Side @ corner lot @ alley
							9 - 14 BTL		Rear @ Alley	
							10 min			Rear @ Non Alley
<b>Building Use</b>	ALL TYPES SHALL PERMIT COMMERCIAL USE AT THE FIRST STORY LEVEL AND RESIDENTIAL OR OFFICE USE AT ALL STORIES ABOVE; SEE LAND USE CLASSIFICATIONS ABOVE.			ALL TYPES SHALL PERMIT RESIDENTIAL USE AT ALL STORIES OF THE PRINCIPAL STRUCTURE; SEE LAND CLASSIFICATIONS ABOVE.						
<b>Reserve</b>	THIS PORTION OF THE DEVELOPMENT SHALL BE USED FOR RETAIL, COMMERCIAL, AND OFFICE DEVELOPMENT IN ACCORDANCE WITH USES PERMITTED IN THE FOLLOWING ZONING DISTRICTS: GOL (GENERAL OFFICE LOW RISE DISTRICT); GOH (GENERAL OFFICE HIGH RISE DISTRICT, NOT TO EXCEED THREE FLOORS WITHIN THE BOUNDARIES OF THE EXISTING HOUSE); LCS (LIGHT COMMERCIAL 3, LIMITED TO RECEPTIONS, SPECIAL EVENTS AND A HOTEL WITH NO MORE THAN 20 BEDS); NC-AB (NEIGHBORHOOD COMMERCIAL ALCOHOLIC BEVERAGE, LIMITED TO RECEPTION AND SPECIAL EVENTS).									
<b>Civic Uses</b>	CIVIC BUILDINGS DESIGNED SPECIFICALLY FOR CIVIC FUNCTIONS (SEE CIVIC USES DEFINITION), SHALL NOT BE SUBJECT TO THE REQUIREMENTS DESCRIBED IN THE URBAN REGULATING INSTRUCTIONS. THE PARTICULARS OF CIVIC BUILDING DESIGN SHALL BE IMMUNE FROM THIS SPECIFICITY. AS ANIMATORS OF THE PUBLIC REALM, THESE EXCEPTIONS SERVE TO ALLOW ARCHITECTURE THAT ACCENTS AND CELEBRATES THE COMMUNITY'S LIFE IN ITS MORE PUBLIC AND CIVIC GOINGS-ON. IN ORDER TO SUPPORT THIS CIVIC WORTH, IT IS OF UTMOST IMPORTANCE THAT THE PRIVATE BUILT ENVIRONMENT, WHICH SERVES PRIMARILY TO DEFINE THE PUBLIC REALM, MAINTAIN STRICT COMPLIANCE WITH THE RESTRICTIONS DESCRIBED IN THE URBAN REGULATING INSTRUCTIONS.									
<b>Corner Lots</b>	BUILDINGS OCCURRING ON CORNER LOTS AND CORNER LOTS IN ALLEYS SHALL SHOW PRIMARY FACADES TO BOTH FRONTAGES.									
<b>Outbuilding</b>	ALLOWED ONLY AT TOWN HOUSES, COURTYARD HOUSES, AND SIDEYARD HOUSES, OUTBUILDINGS SHALL PERMIT LIVING AND LIMITED OFFICE USE (A MAXIMUM SIZE OF 650 SF).			OUTBUILDINGS SHALL PERMIT LIVING AND LIMITED OFFICE USE (A MAXIMUM SIZE OF 800 SF).						
<b>Parking</b>	AUTOMOBILE STORAGE OF ADEQUATE SIZE AND ACCESS SHALL BE PROVIDED INTERNAL TO THE BLOCK WITH THE EXCEPTION OF TOWNHOUSES, COURTYARD HOUSES, AND SIDEYARD HOUSES IN ACCORDANCE WITH THE CITY OF BATON ROUGE PLANNING AND ZONING ORDINANCE, OR AS DEFINED IN THE SETTLEMENT AT WILLOW GROVE ZONE CASE AND AMENDMENTS THEREAFTER.			AUTOMOBILE STORAGE OF ADEQUATE SIZE AND ACCESS SHALL BE PROVIDED WITHIN THE LOT IN ACCORDANCE WITH THE CITY OF BATON ROUGE PLANNING AND ZONING ORDINANCE, OR AS DEFINED IN THE SETTLEMENT AT WILLOW GROVE ZONE CASE AND AMENDMENTS THEREAFTER. IT SHALL NOT EXCEED MORE THAN 3 COVERED SPACES. ACCESS TO PARKING OFF PRIMARY STREETS MAY BE FRONTAL OR SIDE IN THE CONFIGURATIONS SHOWN. AUXILIARY PARKING MAY BE PROVIDED ALONG THE ALLEY. WHEN PROVIDED SUCH PARKING SHALL BE CONSTRUCTED OF PAVECRETE, PAVERS, EXPOSED CONCRETE, OR PATTERNED CONCRETE. IN NO CASE SHALL MORE THAN 70% OF THE ALLEY RIGHT OF PASSAGE BE SURFACED.			AUTOMOBILE STORAGE OF ADEQUATE SIZE AND ACCESS SHALL BE PROVIDED WITHIN THE LOT IN ACCORDANCE WITH THE CITY OF BATON ROUGE PLANNING AND ZONING ORDINANCE, OR AS DEFINED IN THE SETTLEMENT AT WILLOW GROVE ZONE CASE AND AMENDMENTS THEREAFTER. IT SHALL NOT EXCEED MORE THAN 4 COVERED SPACES. ACCESS TO PARKING OFF PRIMARY STREETS MAY BE FRONTAL OR SIDE IN THE CONFIGURATIONS SHOWN. AUXILIARY PARKING MAY BE PROVIDED ALONG THE ALLEY. WHEN PROVIDED SUCH PARKING SHALL BE CONSTRUCTED OF PAVECRETE, PAVERS, EXPOSED CONCRETE, OR PATTERNED CONCRETE. IN NO CASE SHALL MORE THAN 70% OF THE ALLEY RIGHT OF PASSAGE BE SURFACED. HORSESHOE DRIVES ARE ALLOWED ONLY ON THE LOT FRONTAGES OF EDGE LOTS.			
<b>Perimeter Lots</b>	SEE THE FOLLOWING PAGE, PUD APPROVAL STIPULATIONS, FOR ADDITIONAL REQUIREMENTS FOR ALL PERIMETER LOTS LOCATED ON THE WEST AND EAST EDGES OF THE SETTLEMENT AT WILLOW GROVE.									

# THE SETTLEMENT AT WILLOW GROVE

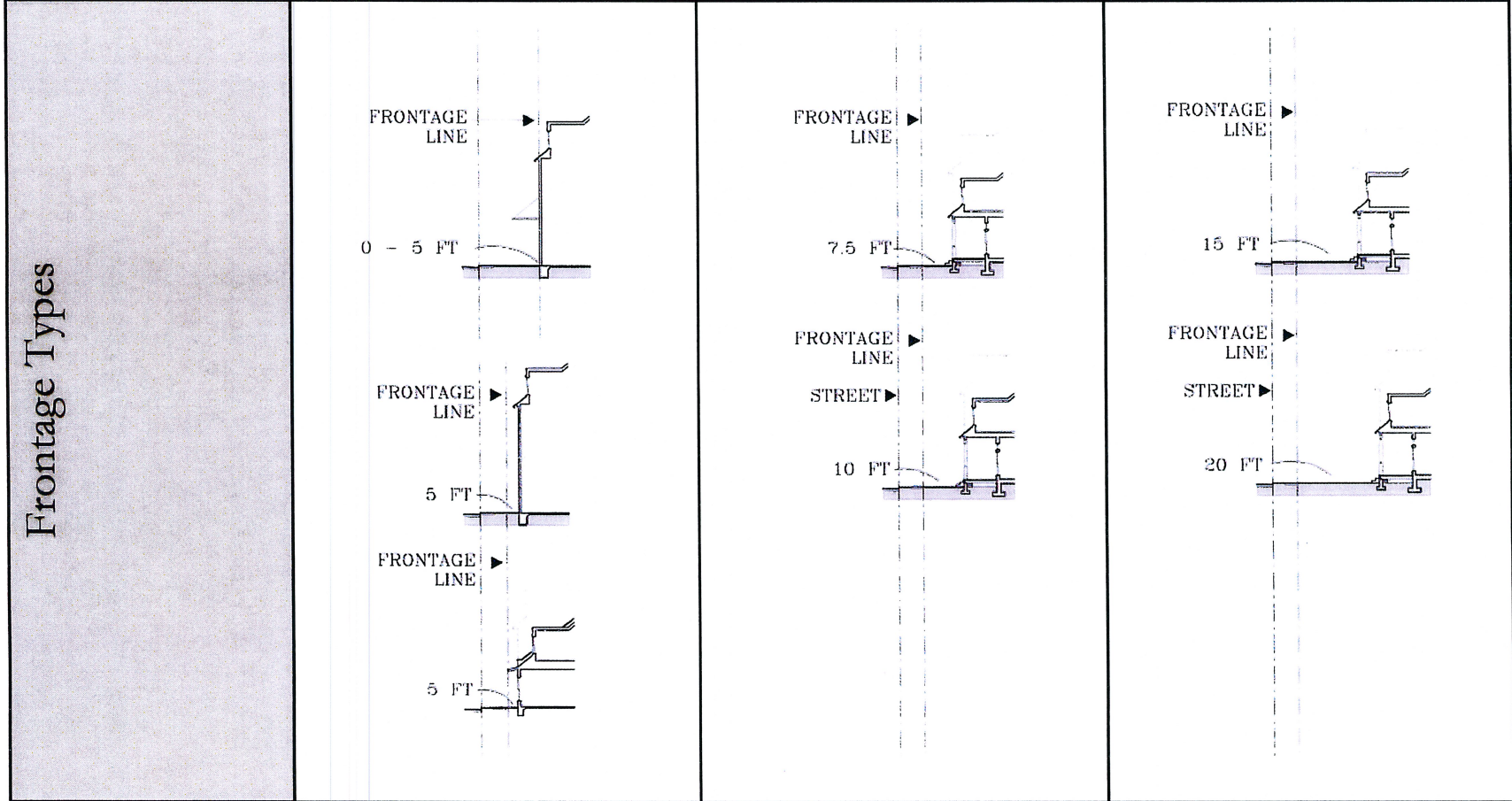
## URBAN REGULATION INSTRUCTIONS

<b>Land Classifications</b>	The Design Code for The Settlement at Willow Grove is developed around The Transect, a system of land classifications described in The Lexicon of the New Urbanism, which incorporates a fine-grained network of lot distinctions. These characteristics follow the natural internal structure of an authentic neighborhood and serve to create the structure of the community of The Settlement at Willow Grove. This structure is expressed as three urban sectors: Village Center (VC), Village General (VG) and Village Edge (VE).
	The Village Center (VC) is the focus of the neighborhood's civic buildings and social activity. It incorporates retail, workplaces, and more dense residential units, and it connects directly to other parts of the neighborhood through a network of carefully articulated vehicular and pedestrian thoroughfares. As such, it is the densest graining of land subdivision in the neighborhood. The streets are generally designed with formalized on street parking characterized by avenues and main streets. Buildings placed either at or near the right-of-way line, further reinforce the streets edge and public character.
	The Village General (VG) is that element of the transect which focuses principally on residential use with a minimum of other potential uses and constitutes the majority of the type of the land uses at The Settlement at Willow Grove. Streets and boulevards generally characterize the thoroughfare makeup within the Village General.
	The Village Edge (VE) is the least dense, purely residential, and characterized principally by it's rural character. Generally more luxurious setbacks at its frontage, sides, and rear results in blocks of low-density edge yard treatment.
	This Design Code creates an additional type of refined division within each of the individual described zones. For example, in the Village General is the Village General I (VG-I), Village General II (VG-II) and Village General III (VG-III). These further serve to support an additional device, which further alter the placement of buildings on a lot, producing varying planning textures and urban behavior. Reference is made to the Urban Regulation Instructions in this design code for further clarification.

	Village Context Zones								
	Village Center			Village General			Village Edge		
	VCI	VCII	VCIII	VGI	VGII	VGIII	VEI	VEII	VEIII
<b>Minimum Frontage Build-out</b>	100%			75%			55%		

<b>Horizontal Placement Instructions</b>	<b>Facade</b>	THE PLACEMENT OF THE FAÇADE AT THE FRONT SETBACK LINE SHALL BE MANDATORY UNLESS OTHERWISE SHOWN. IT IS ENCOURAGED FOR BUILDINGS TO SHOW NO MORE THAN TWO CORNERS TO THE FRONTAGE.	THE PLACEMENT OF THE FAÇADE AT THE FRONT SETBACK LINE, SHALL BE MANDATORY UNLESS OTHERWISE SHOWN. IT IS ENCOURAGED FOR BUILDINGS TO SHOW NO MORE THAN 3 CORNERS TO THE FRONTAGE. BUILDINGS ON CORNER LOTS SHALL PRESENT PRIMARY FAÇADES TO BOTH STREETS.	THE PLACEMENT OF THE FAÇADE AT THE FRONT SETBACK LINE, SHALL BE MANDATORY UNLESS OTHERWISE SHOWN. IT IS ENCOURAGED FOR BUILDINGS TO SHOW NO MORE THAN 4 CORNERS TO THE FRONTAGE. BUILDINGS ON CORNER LOTS SHALL PRESENT PRIMARY FAÇADES TO BOTH STREETS.
	<b>Fences and Garden Walls</b>	IN THE ABSENCE OF BUILDING, GARDEN WALLS AND GATES SHALL BE BUILT FROM 0 - 8' IN ACCORDANCE WITH THE SETBACK; 0 - 5' IS ALLOWED FOR TOWNHOUSES ONLY.	WHERE PROVIDED, FENCES AND GATES SHALL BE BUILT ON THE PRIMARY FRONTAGE LINE ONLY. GARDEN WALLS AND GATES SHALL NOT BE BUILT ON THE FRONTAGE LINE BUT MAY BE BUILT COPLANAR OR BEYOND TO THE FRONT WALL OF THE MAIN BUILDING. BUILDINGS ON CORNER LOTS MAY BUILD A GARDEN WALL AND GATES ON ONLY ONE OF ITS FRONTAGE LINES WHEN APPROVED BY THE DRB IN ADVANCE. WHERE PROVIDED ON ALLEYS, GARDEN WALLS SHALL BE NO LESS THAN 9' NOR GREATER THAN 14' FROM THE ROW LINE.	
	<b>Corner Lots</b>	BUILDINGS ON CORNER LOTS SHALL HOLD CLEAR A VIEW TRIANGLE AS APPROVED IN THE SETTLEMENT AT WILLOW GROVE ZONING ORDINANCE AND SHALL BE SETBACK FROM BOTH FRONTAGES IN ACCORDANCE WITH THE FRONT PLACEMENT INDICATED ABOVE.		
	<b>Parking</b>	PARKING SHOULD BE LOCATED IN THE CENTER OF THE BLOCK. THE PARKING AND SIDEWALK SYSTEM SHALL BE LANDSCAPED TO PROVIDE SHADE AND SHELTER AND A STREET EDGE. PROVIDE THROUGH-BLOCK CONNECTORS TO PROVIDE ACCESSIBILITY BETWEEN PARKING AND BUILDING FRONTAGES @ INTERVALS NOT TO EXCEED 150 FEET.	GARAGES SHALL BE ENTERED FROM THE REAR ALLEY OR LANE, IF PROVIDED. SEE PLACEMENT DIAGRAMS FOR ALLEY LOADED PARKING ACCOMMODATIONS. WHERE LOTS ARE NOT ALLEY LOADED, PARKING PLACEMENT SHALL BE EITHER A MINIMUM OF 30 FEET BEHIND THE FAÇADE OR IN ACCORDANCE WITH THE MOTOR COURT PLACEMENT DIAGRAM WITH A MAXIMUM OF A SINGLE WIDTH DRIVEWAY NOT EXCEEDING 12 FEET IN WIDTH FROM THE FRONTAGE TO THE FAÇADE LINE.	

<b>Vertical Placement Instructions</b>	<b>Porches, Balconies, and Stoops</b>	PORCHES, BALCONIES AND STOOPS SHALL BE PROVIDED IN ANY ONE OF THE COMBINATIONS SHOWN IN THE BUILDING PLACEMENT GUIDELINES.	PORCHES BALCONIES AND STOOPS SHALL BE PROVIDED IN ANY ONE OF THE COMBINATIONS SHOWN ON ARCHITECTURAL TYPOLOGIES.	
	<b>Main Floor</b>	THE FIRST FLOOR LEVEL SHALL BE ELEVATED ABOVE THE LEADING EDGE OF THE SIDEWALK AT THE RIGHT-OF-WAY A MINIMUM OF 1'-6", EXCEPT THAT COMMERCIAL USES SHALL BE NEAR SIDEWALK GRADE.	THE FIRST FLOOR LEVEL SHALL BE ELEVATED ABOVE THE LEADING EDGE OF GRADE AT THE PORCH A MINIMUM OF 2'-6". RAISED FOUNDATIONS SHALL BE A MINIMUM OF 1'-6" ABOVE THE LEADING EDGE OF THE SIDEWALK AT THE RIGHT-OF-WAY.	
	<b>Main Floor Height</b>	THE FIRST STORY INTERIOR CLEAR HEIGHT SHALL BE NO LESS THAN 10' NOR MORE THAN 12'-4".	THE FIRST STORY INTERIOR CLEAR HEIGHT SHALL BE NO LESS THAN 10' NOR MORE THAN 12' AT THE PRIMARY BUILDING FRONTAGE ONLY. ALL OTHER SPACES MAY BE A MINIMUM OF 9'-0". THE SECOND STORY INTERIOR CLEAR HEIGHT SHALL BE NO LESS THAN 9' NOR MORE THAN 12'.	
	<b>Max. Building Height</b>	3 STORIES	3 STORIES	3 STORIES OR 45' (WHICHEVER IS GREATER). SEE NEXT PAGE FOR PERIMETER LOT RESTRICTIONS.
	<b>Roofs</b>	BUILDINGS MAY HAVE FLAT ROOFS ENCLOSED BY PARAPETS OR SLOPED ROOFS IN ACCORDANCE WITH THE ARCHITECTURAL GUIDELINES.		







A Traditional Neighborhood Development  
 WEBSITE: [WWW.THESETTLEMENTATWILLOWGROVE.COM](http://WWW.THESETTLEMENTATWILLOWGROVE.COM)

# The Settlement at WILLOW GROVE

*A Traditional Neighborhood Development*

Lot Number	SETBACKS			Side Left / Right
	Front	Rear		
1	3'	9'		0' / 0'
2	3'	9'		0' / 0'
3	3'	9'		0' / 0'
4	3'	9'		0' / 0'
5	3'	9'		0' / 0'
6	3'	9'		0' / 0'
7	3'	9'		0' / 0'
8	3'	9'		0' / 0'
9	3'	9'		0' / 0'
10	3'	9'		0' / 0'
11	3'	9'		0' / 0'
12	3'	9'		0' / 0'
13	3'	9'		0' / 0'
14	3'	9'		5' / 0'
15	3'	9'		0' / 0'
16	5'	9'		0' / 9'
17	5'	9'		0' / 5'
18	5'	9'		0' / 5'
19	5'	9'		0' / 5'
20	5'	9'		0' / 5'
21	5'	9'		0' / 5'
22	5'	9'		0' / 5'
23	5'	9'		0' / 5'
24	5'	9'		9' / 5'
25	5'	9'		14' / 5'
26	5'	9'		5' / 5'
27	5'	9'		5' / 5'
28	5'	9'		5' / 5'
29	5'	9'		5' / 5'
30	5'	9'		5' / 5'
31	5'	9'		5' / 14'
32	10'	25'		5' / 5'
33	10'	25'		5' / 5'
34	10'	25'		5' / 5'
35	10'	25'		5' / 5'
36	7.5'	25'		5' / 5'
37	7.5'	25'		5' / 5'
38	7.5'	25'		5' / 5'
39	7.5'	25'		5' / 5'

Lot Number	SETBACKS			Side Left / Right
	Front	Rear		
40	10'	25'		5' / 5'
41	10'	25'		5' / 5'
42	10'	25'		5' / 5'
43	10'	25'		5' / 5'
44	10'	25'		5' / 5'
45	10'	25'		5' / 5'
46	10'	25'		5' / 5'
47	10'	25'		5' / 5'
48	10'	25'		5' / 5'
49	10'	25'		5' / 5'
50	7.5'		(Per A-1 Building Code)	5' / 5'
51	7.5'		(Per A-1 Building Code)	5' / 5'
52	7.5'	9'		5' / 5'
53	7.5'	9'		5' / 5'
54	7.5'	9'		5' / 5'
55	7.5'	9'		5' / 5'
56	7.5'	9'		5' / 5'
57	7.5'	9'		5' / 5'
58	7.5'	9'		5' / 5'
59	7.5'	9'		5' / 5'
60	7.5'	9'		5' / 5'
61	7.5'	9'		5' / 5'
62	10'	9'		14' / 5'
63	10'	9'		5' / 5'
64	10'	9'		5' / 5'
65	10'	9'		5' / 5'
66	10'	9'		5' / 5'
67	10'	9'		5' / 14'
68	7.5'	9'		14' / 5'
69	7.5'	9'		5' / 5'
70	7.5'	9'		5' / 5'
71	7.5'	9'		5' / 5'
72	7.5'	9'		5' / 14'
73	7.5'	9'		5' / 5'
74	7.5'	9'		5' / 5'
75	7.5'	9'		5' / 5'
76	7.5'	9'		5' / 5'
77	7.5'	9'		5' / 5'
78	7.5'	9'		5' / 5'

Lot Number	SETBACKS			Side Left / Right
	Front	Rear		
79	7.5'	9'		5' / 5'
80	7.5'	9'		5' / 5'
81	7.5'	9'		5' / 5'
82	7.5'	9'		5' / 5'
83	5'	9'		0' / 5'
84	5'	9'		0' / 5'
85	5'	9'		0' / 5'
86	5'	9'		0' / 5'
87	5'	9'		0' / 5'
88	5'	9'		0' / 5'
89	5'	9'		0' / 5'
90	5'	9'		5' / 5'
91	5'	9'		5' / 5'
92	5'	9'		5' / 0'
93	5'	9'		5' / 0'
94	5'	9'		5' / 0'
95	5'	9'		5' / 0'
96	5'	9'		5' / 0'
97	3'	9'		0' / 0'
98	3'	9'		0' / 0'
99	3'	9'		0' / 0'
100	3'	9'		0' / 0'
101	3'	9'		0' / 0'
102	3'	9'		0' / 9'
103	5'	9'		9' / 0'
104	5'	9'		5' / 0'
105	5'	9'		5' / 5'
106	7.5'	25'		5' / 5'
107	7.5'	25'		5' / 5'
108	7.5'	25'		5' / 5'
109	7.5'	25'		5' / 5'
110	7.5'	25'		5' / 5'
111	7.5'	25'		5' / 5'
112	7.5'	25'		5' / 5'
113	7.5'	25'		5' / 5'
114	7.5'	25'		5' / 5'
115	7.5'	25'		5' / 5'
116	7.5'	25'		5' / 5'

*The*  
**Settlement at**  
**WILLOW GROVE**



*A Traditional Neighborhood Development*

Lot #	SETBACKS			Side Left / Right
	Front	Rear		
117	7.5'	25'		5' / 5'
118	7.5'	25'		5' / 5'
119	7.5'	25'		5' / 5'
120	7.5'	25'		5' / 5'
121	10'	9'		5' / 14'
122	10'	9'		14' / 5'
123	10'	9'		14' / 5'
124	10'	9'		5' / 5'
125	10'	9'		5' / 14'
126	7.5'	9'		5' / 5'
127	7.5'	9'		5' / 5'
128	7.5'	9'		5' / 5'
132	7.5'	9'		5' / 5'
133	7.5'	9'		5' / 5'
134	7.5'	9'		5' / 5'
135	7.5'	9'		5' / 5'
136	10'	9'		5' / 14'
137	10'	9'		5' / 5'
138	10'	9'		5' / 5'
139	10'	9'		5' / 5'
140	10'	9'		14' / 5'
141	7.5'	9'		5' / 5'
142	7.5'	9'		14' / 5' / 5'
143	10'	9'		5' / 5'
144	10'	9'		5' / 5'
145	10'	9'		5' / 5'
146	10'	9'		5' / 5'
147	10'	9'		5' / 5'
148	10'	9'		5' / 5'
149	10'	9'		14' / 5'
150	7.5'	9'		5' / 5'
151	7.5'	9'		5' / 5'
152	7.5'	9'		5' / 5'
153	7.5'	9'		5' / 5'
154	7.5'	9'		5' / 5'
155	7.5'	9'		5' / 5'
156	7.5'	9'		5' / 5'
157	7.5'	9'		5' / 5'

Lot #	SETBACKS			Side Left / Right
	Front	Rear		
158	7.5'	9'		5' / 5'
159	10'	9'		5' / 9'
160	10'	9'		5' / 5'
161	10'	9'		5' / 5'
162	10'	9'		5' / 5'
163	10'	9'		5' / 5'
164	10'	9'		9' / 5'
165	10'	9'		5' / 9'
166	10'	9'		7.5' / 5'
167	10'	9'		5' / 7.5'
168	10'	9'		9' / 5'
169	10'	9'		5' / 5'
170	10'	9'		5' / 5'
171	10'	9' / 14'		5' / 5'
172	10'	14'		15' / 5'
173	10'	9'		5' / 5'
174	10'	9'		5' / 5'
175	10'	9'		5' / 5'
176	10'	9'		5' / 5'
177	10'	9'		5' / 5'
178	10'	9'		5' / 5'
179	10'	9'		5' / 5'
180	10'	9'		5' / 5'
181	7.5'	9'		9' / 9'
182	12'	25'		5' / 5'
183	12'	25'		5' / 5'
184	12'	25'		5' / 5'
184A	12'	25'		5' / 5'
185	12'	25'		5' / 5'
186	12'	25'		5' / 5'
187	12'	25'		5' / 5'
188	10'	9'		5' / 5'
189	10'	9'		5' / 5'
190	10'	9'		5' / 5'
191	10'	9'		5' / 5'
192	10'	9'		5' / 9'
193	10'	9'		5' / 5'
194	10'	9'		9' / 5'

Lot #	SETBACKS			Side Left / Right
	Front	Rear		
195	10'	9'		5' / 5'
196	10'	9'		5' / 5'
197	10'	9'		5' / 5'
198	10'	9'		5' / 5'
199	10'	9'		5' / 5'
200	7.5'	9'		5' / 9'
201	7.5'	9'		5' / 5'
202	7.5'	9'		9' / 5'
203	10'	9'		5' / 5'
204	10'	9'		5' / 5'
205	10'	9'		5' / 5'
206	10'	9'		5' / 5'
207	10'	9'		5' / 5'
208	7.5'	9'		5' / 9'
209	7.5'	9'		5' / 5'
210	7.5'	9'		5' / 5'
211	7.5'	9'		5' / 5'
212	7.5'	9'		9' / 5'
213	7.5'	9'		5' / 5'
214	7.5'	9'		5' / 5'
215	7.5'	9'		5' / 5'
216	7.5'	9'		5' / 5'
217	7.5'	9'		5' / 5'
218	7.5'	9'		5' / 9'
219	7.5'	9'		5' / 5'
220	7.5'	9'		5' / 5'
221	7.5'	9'		5' / 5'
222	7.5'	9'		9' / 5'
223	7.5'	25'		5' / 5'
224	7.5'	25'		5' / 5'
225	7.5'	25'		5' / 5'
226	7.5'	25'		5' / 5'
227	7.5'	25'		5' / 5'
228	7.5'	25'		5' / 5'
229	7.5'	25'		5' / 5'
230	7.5'	25'		5' / 5'
231	7.5'	25'		5' / 5'
232A	7.5'	25'		5' / 5'

# The Settlement at WILLOW GROVE

A Traditional Neighborhood Development

Lot #	SETBACKS		
	Front	Rear	Side Left / Right
232B	7.5'	25'	7' / 5'
233	7.5'	25'	5' / 5'
234	7.5'	25'	5' / 5'
235	7.5'	25'	5' / 5'
236	7.5'	25'	5' / 5'
237	7.5'	25'	5' / 5'
238	7.5'	25'	5' / 5'
239	10'	9'	5' / 5'
240	10'	9'	5' / 5'
241	10'	9'	5' / 5'
242*	5' & 10'	9'	5' / 5'
243*	5'	9'	5' / 5'
244*	5'	9'	5' / 5'
245*	5'	9'	5' / 5'
246*	5'	9'	5' / 5'
247*	5' & 7.5"	9'	5' / 5'
248	7.5'	9'	5' / 5'
249	7.5'	9'	5' / 5'
250	7.5'	9'	5' / 9'
251	7.5'	9'	5' / 5'
252	7.5'	9'	5' / 5'
253	7.5'	9'	5' / 5'
254	7.5'	9'	9' / 5'
255***	15'	9'	5' / 5'
256	10'	9'	5' / 5'
257	10'	9'	5' / 5'
258**	7.5'	9'	9' / 5'
259**	7.5'	9'	5' / 5'
260**	7.5'	9'	5' / 5'
261**	7.5'	9'	5' / 5'
262**	7.5'	9'	5' / 5'
263**	7.5'	9'	5' / 5'
264**	7.5'	9'	5' / 5'
265**	7.5'	9'	5' / 5'
266**	7.5'	9'	5' / 5'
267**	7.5'	9'	5' / 5'
268**	7.5'	9'	5' / 5'
269**	7.5'	9'	5' / 9'

Lot #	SETBACKS		
	Front	Rear	Side Left / Right
270**	7.5'	9'	5' / 5'
271**	7.5'	9'	5' / 5'
272**	7.5'	9'	5' / 5'
273**	7.5'	9'	5' / 5'
274**	7.5'	9'	5' / 5'
275**	7.5'	9'	5' / 5'
276**	7.5'	9'	5' / 5'
277**	7.5'	9'	5' / 5'
278**	7.5'	9'	9' / 5'
279**	7.5'	9'	5' / 7.5'
280**	7.5'	9'	7.5' / 5'
281**	7.5'	9'	5' / 5'
282**	7.5'	9'	5' / 9'
283**	7.5'	9'	7.5' / 5'
284**	7.5'	9'	5' / 7.5'
285**	7.5'	9'	5' / 5'
286**	7.5'	9'	5' / 5'
287**	10'	25'	5' / 5'
288**	10'	25'	5' / 5'
289**	10'	25'	5' / 5'
290**	10'	30'	5' / 5'
291**	10'	30'	5' / 5'
292**	10'	30'	5' / 5'
293**	10'	30'	5' / 5'
294**	10'	30'	5' / 5'
295**	10'	30'	5' / 5'
296**	10'	30'	11' / 5'
297**	10'	30'	5' / 11'
298**	10'	30'	5' / 5'
299**	10'	30' / 15'	5' / 5'
300**	10'	15'	5' / 5'
301**	10'	15'	5' / 5'
302**	10'	15'	5' / 5'
303**	10'	15'	5' / 5'
304**	7.5'	9'	5' / 5'
305**	7.5'	9'	5' / 5'
306**	7.5'	9'	5' / 5'
307**	7.5'	9'	5' / 5'

Lot #	SETBACKS		
	Front	Rear	Side Left / Right
308**	7.5'	9'	5' / 5'
309**	7.5'	9'	5' / 5'
310**	7.5'	9'	5' / 5'
311**	7.5'	9'	5' / 5'
312**	7.5'	9'	5' / 5'
313**	7.5'	9'	5' / 5'
314**	7.5'	9'	5' / 5'
315**	7.5'	9'	5' / 5'
316**	7.5'	9'	5' / 5'
317**	7.5'	9'	5' / 5'
318**	7.5'	9'	9' / 5'
319**	7.5'	9'	5' / 5'
320**	7.5'	9'	5' / 5'
321**	7.5'	9'	5' / 5'
322**	7.5'	9'	5' / 9'
323**	7.5'	9'	7.5' / 5'
324**	7.5'	9'	5' / 7.5'
325**	7.5'	9'	5' / 5'
326**	10'	15'	5' / 5'
327**	10'	15'	5' / 5'
328**	7.5'	5'	9' / 5'
329**	7.5'	9'	5' / 9'
330**	7.5'	9'	9' / 5'
331**	7.5'	9'	5' / 5'
332**	7.5'	9'	5' / 5'
333**	7.5'	9'	5' / 5'
334**	7.5'	9'	5' / 5'
335**	7.5'	9'	5' / 9'
336**	7.5'	9'	5' / 5'
337**	7.5'	9'	5' / 5'
338**	15'	9+ TBD Oak Tree	5' & 9' / 5'
339**	15'	9'	5' / 5'
340**	15'	9'	5' / 5'
341**	15'	9'	5' / 5'
342**	15'	9'	9' / 5'
343**	7.5'	9'	5' / 5'
344**	7.5'	9'	5' / 5'

Lot #	SETBACKS		
	Front	Rear	Side Left / Right
345**	7.5'	8'	5' / 5'
346**	7.5'	8'	5' / 5'
347**	7.5'	8'	5' / 5'
348**	7.5' / 5'	8'	5' / 5'
349**	5'	8'	5' / 5'
350**	5' / 7' alley	8'	5' / 5'
351**	5' / 7' alley	8'	5' / 5'
352**	5'	8	5' / 5'
353**	7.5' / 5'	8'	5' / 5'
354**	7.5'	8'	7.5' / 5'
355**	7.5'	8'	5' / 7.5'
356**	7.5'	8'	5' / 5'
357	7.5'	20'	5' / 5'
358	12'	20'	5' / 0'
359	12'	20'	5' / 0'
360	See Plat	20'	See Plat / 0'
361	14'	35'	0' / 5'
362	12'	35'	0' / 5'
363	12'	35'	0' / 5'
364	12'	35'	0' / 5' /
365	12'	35'	5' / 5'
366	5'	10'	0' / 5'
367	5'	10'	0' / 5'
368	5'	10'	0' / 5'
369	5'	5'	5' / 5'
370	5'	10'	5' / 5'
371	5'	10'	5' / 5'
372	5'	10'	5' / 5'
373	5'	10'	5' / 5'
374	5'	32'	5' / 5'
375	5'	10'	5' / 0'
376	5'	10'	5' / 0'
377	5'	5'	12' / 0'

\* Minimum Living Area Square Footage is 3000 SF

\*\* Minimum Living Area Square Footage is 2750 SF

\*\*\* Minimum Living Area Square Footage is 3200 SF

The Settlement at Willow Grove

PUD Approval Stipulations for Perimeter Lots

Perimeter Lots are comprised of lots **32-51, 106-120, 233-238, 182-187 and 223-232B**. In addition to the stipulations below, lots **106-120, 233-238, 182-187 and 223-232B** shall install gates allowing for 14' clear passage within the rear 20' Easement Servitude.

The PUD Approval Stipulations recorded with the Office of the Clerk of Court and Recorder of Mortgages for East Baton Rouge Parish at Original 487, Bundle 11689 create the following restrictions for the Perimeter Lots:

1.0 Lots 32 through 51. Lots 32 through 51 shall be used for residential development in accordance with the following Zoning Districts:

Only single family detached residential uses shall be permitted. The following additional stipulations shall apply to these Lots.

1.1 Garage and Structure Setback. Except on Lots 50 and 51: (i) no detached garage or carport shall be two stories; and (ii) the Main Structure, garage and carport shall be at least twenty-five feet (25') from rear lot line. On Lots 50 and 51, the garage or carport rear setback shall comply with the requirements for accessory buildings requirements in A-1 zoning.

1.2 Minimum Square Feet and Lot Width. Residences built on Lots 32 through 51 shall contain a minimum of 1,800 square feet of living (heated and cooled) space, exclusive of all storerooms and garages. The minimum lot width shall be sixty (60') feet.

1.3 Accessory Building. Any accessory building (as defined in the UDC except for garages or carports on Lots 32 through 49) shall comply with the requirements for accessory buildings in A-1 zoning districts as set forth in the UDC.

1.4 Building Height. No building shall exceed thirty-five feet (35') in height, measured from the ground to the roof ridge.

1.5 Additional Restrictions. No townhomes, zero lot line homes or attached condominiums shall be allowed on Lots 32 through 51. Further no governmental buildings and facilities including, police, fire, EMS, post office, or other facilities utilized for governmental functions and activities shall be allowed. No rear service alley shall be allowed on the boundary between Lots 32 through 51 and Oak Hills Crossing.

1.6 Drainage. In connection with the construction of the improvements on Lots 32 through 51, Declarant shall provide for positive storm water drainage to direct runoff from the rear of Lots 32 through 51 towards the west, all in accordance with the drainage plan approved by the Department of Public Works. The Drainage Plan shall not conflict with the drainage plan for Oak Hills Crossing

1.7 Two Story Requirements. In the event a two story structure is constructed, the following additional limitations shall apply:

- (a) If a two story structure is constructed, the two story portion of the structure located within rear fifty feet (50') of the lot shall not be wider than twenty-four feet (24');
- (b) No windows above the first floor facing Oak Hills Crossing shall be located closer than fifty feet (50') to the rear lot line.

2.0 Lots 106 through 120, Lots 233 through 238, Lots 182 through 187 and Lots 223 through 232B. Lots 106 through 120, Lots 233 through 238, Lots 182 through 187 and Lots 223 through 232B shall be used for residential development in accordance with the following Zoning Districts:

Only single family detached residential uses shall be allowed. The following additional stipulations shall apply to these Lots:

2.1 Accessory Building and Setback. No accessory building (as defined in the UDC but including garages) shall be two stories. All accessory buildings (including garages) and the main structure shall be located at least twenty-five feet (25') from the property line of existing lots in Wimbledon Subdivision.

2.2 Building Height. No building shall exceed thirty-five feet (35') in height, measured from the ground to the roof ridge.

2.3 Additional Use Restrictions. No townhomes, zero lot line homes or attached condominiums shall be allowed on Lots 106 through 120, Lots 233 through 238, Lots 182 through 187 and Lots 223 through 232B. Further no governmental buildings and facilities including, police, fire, EMS, post office, or other facilities utilized for governmental functions and activities shall be allowed.

2.4 Minimum Square Feet and Lot Width. Residences built on Lots 106 through 120, Lots 233 through 238, Lots 182 through 187 and Lots 223 through 232B shall contain a minimum of 1,800 square feet of living (heated and cooled) space, exclusive of all storerooms and garages. The minimum lot width shall be sixty feet (60').

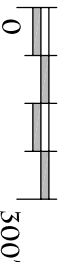
2.5 Two Story Requirements. In the event a two story structure is constructed, the following additional limitations shall apply:


- (a) If a two story structure is constructed, the two story portion of the structure located within fifty feet (50') of a lot used for residential purposes in Wimbledon shall not be wider than twenty-four feet (24');
- (b) No second floor window facing a lot used for residential purposes in Wimbledon shall be located closer than fifty feet (50') to the Wimbledon lot line.

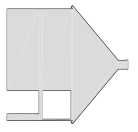
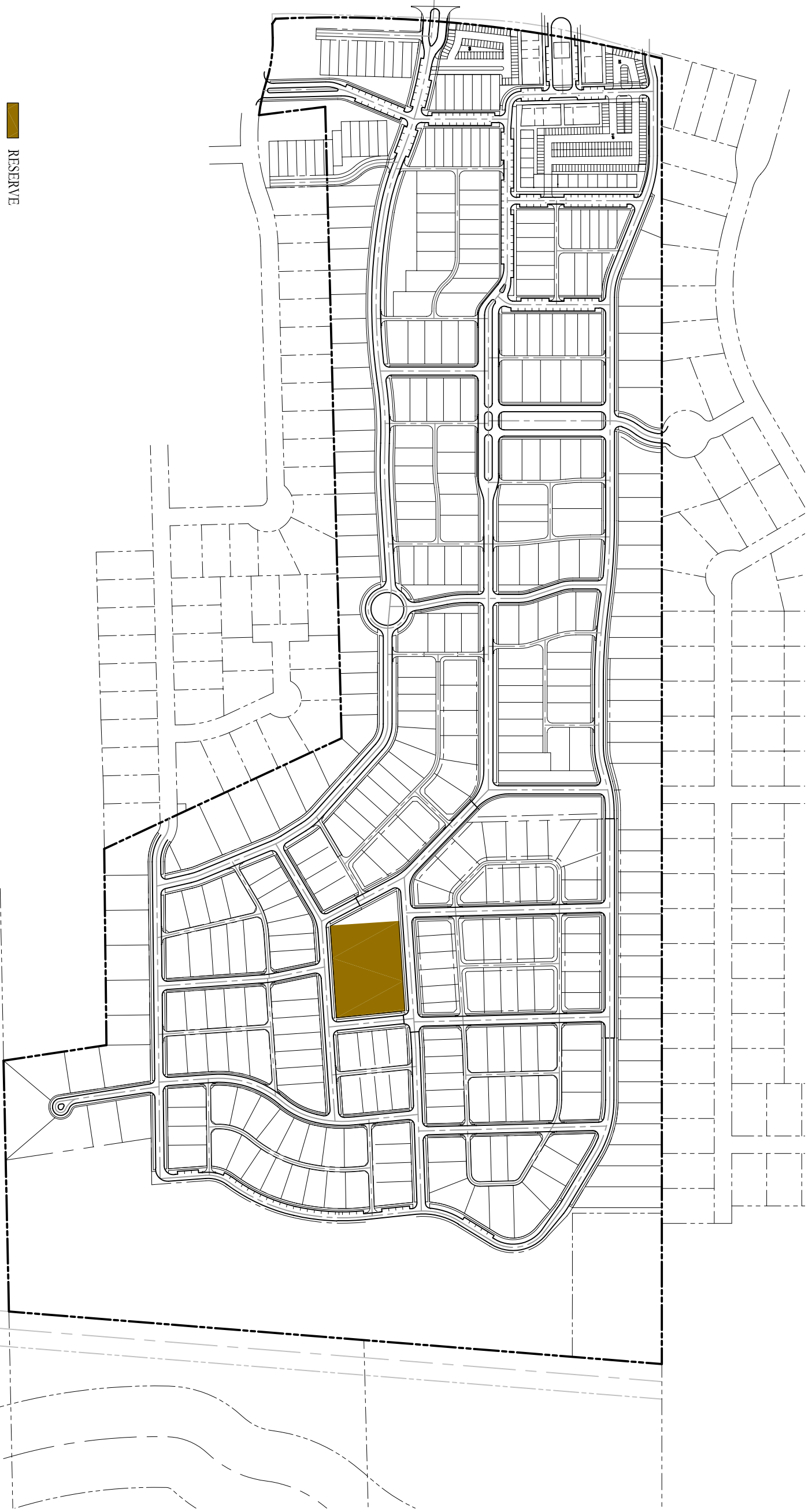
2.6 Fencing. A decorative fence shall be constructed along the rear property line of Lots 1, 2, and 3 of Wimbledon Subdivision and Lots 7 and 8 of Wimbledon Subdivision. The Settlement at Willow Grove restrictions shall require that a fence be constructed along the rear property line in connection with the construction of improvements on Lots 106 through 120, Lots 233 through 238, Lots 182 through 187 and Lots 223 through 232B.

2.7 Alley. There shall be no rear service alley along the boundary between Lots 106 through 120 and Wimbledon Estates.

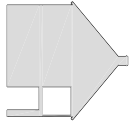
3.0 Tree Preservation. Declarant shall make a good faith effort to preserve existing quality trees, but the removal of trees shall be allowed based on engineering and site plan requirements. Declarant shall implement a tree planting program to replace trees that have been removed. The removal of any trees on the site will be done in accordance with chapter 18, specifically sections 18.4 and 18.7, of the Unified Development Code.



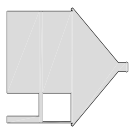
 RESERVE  
 PERMITTED USES: THIS PORTION OF THE DEVELOPMENT SHALL BE USED FOR RETAIL, COMMERCIAL AND OFFICE DEVELOPMENT IN ACCORDANCE WITH USES PERMITTED IN THE FOLLOWING ZONING DISTRICTS: GO1, GOH, LC3, NC-AB, AND ALL RESIDENTIAL USES PERMITTED IN A-1 THROUGH A-2.7.



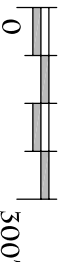
**THE SETTLEMENT AT WILLOW GROVE**  
**DESIGN CODE**  
 Baton Rouge, Louisiana



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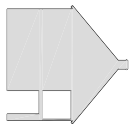
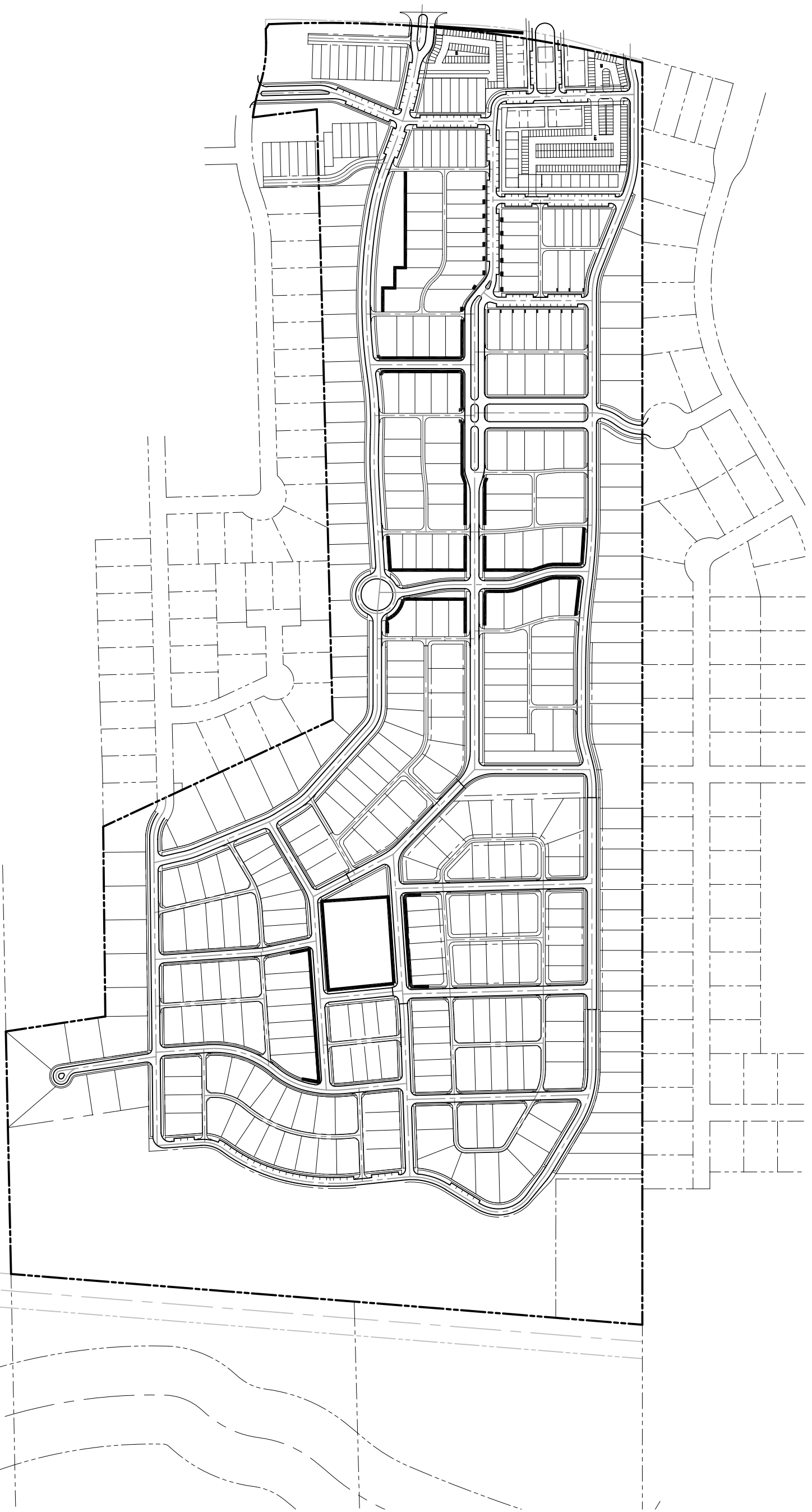






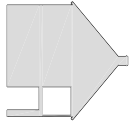
500'

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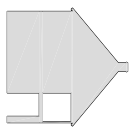
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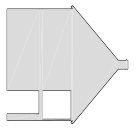
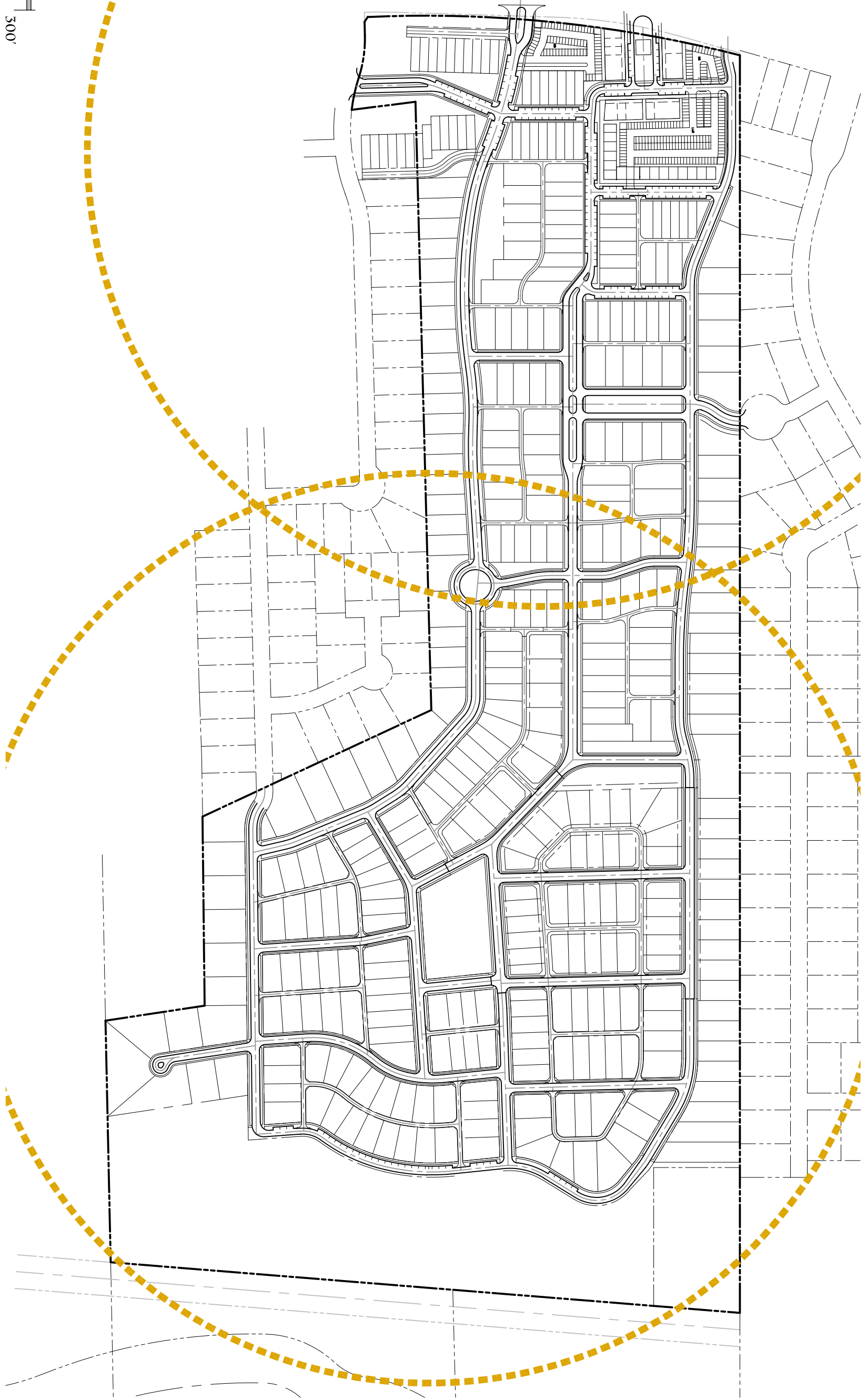
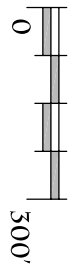


M A N D A T O R Y F E N C E P L A N

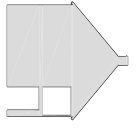
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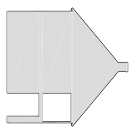


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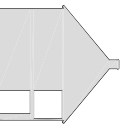
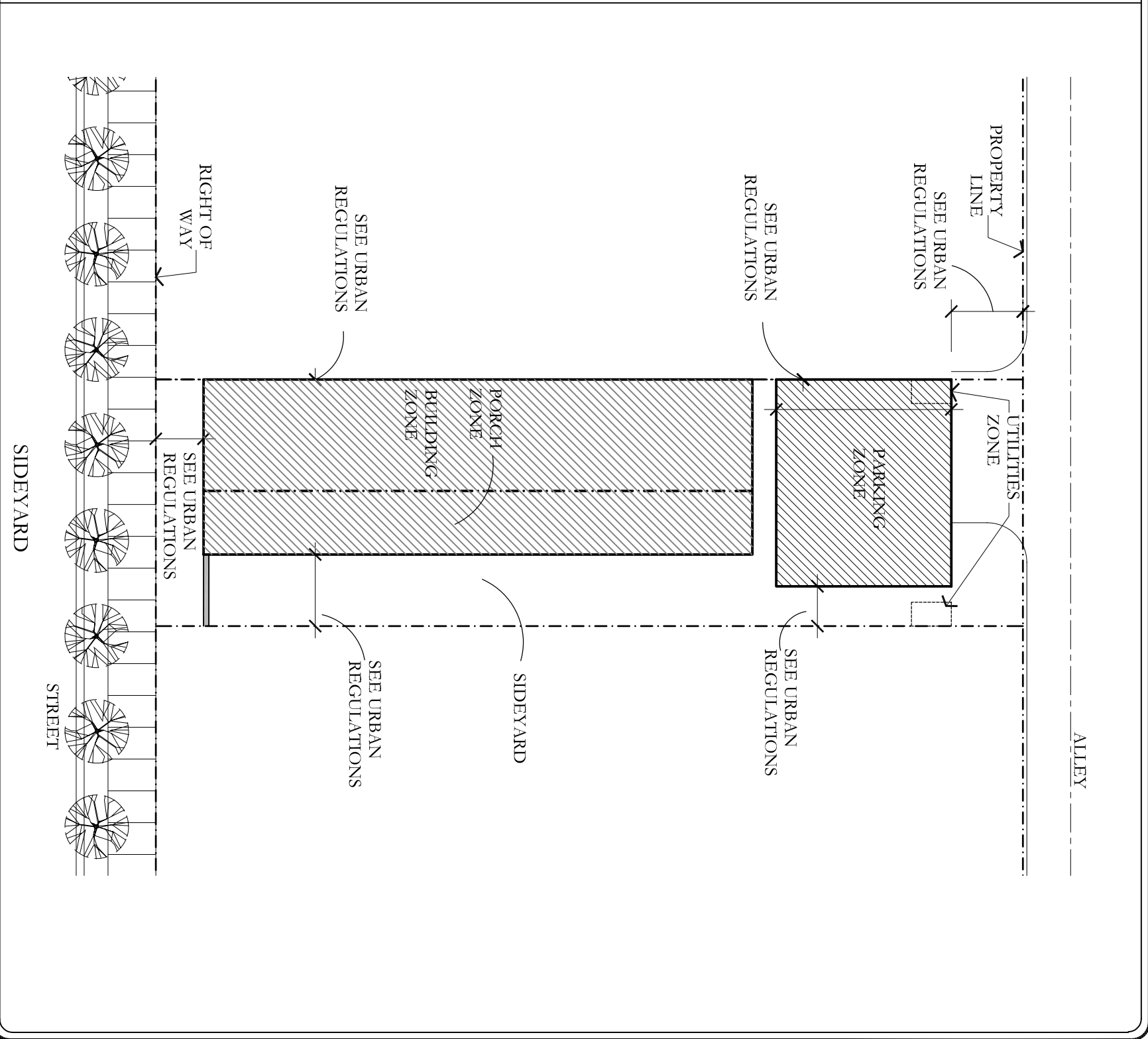
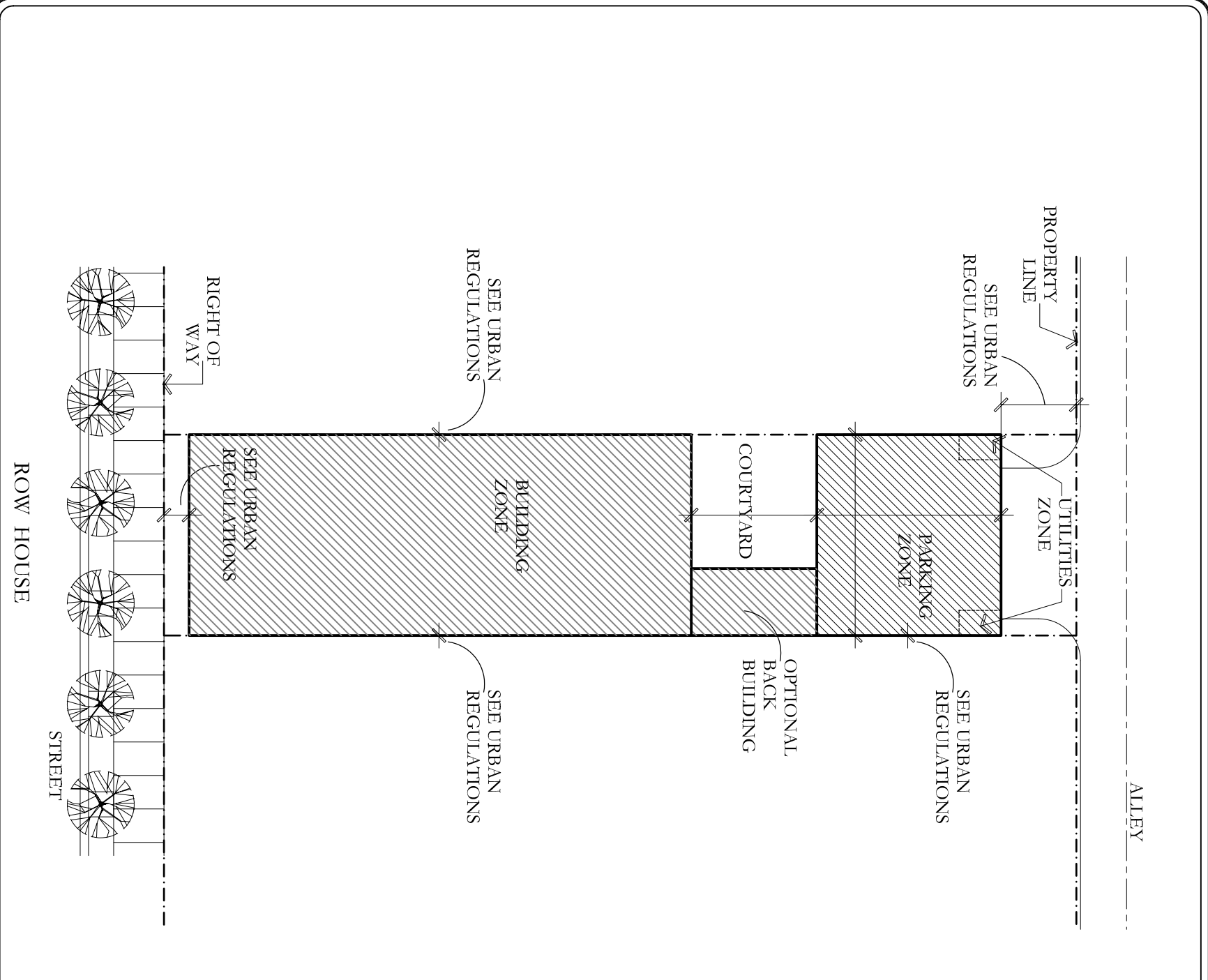


FIVE MINUTE WALK

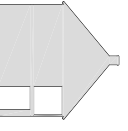
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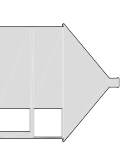


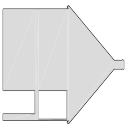
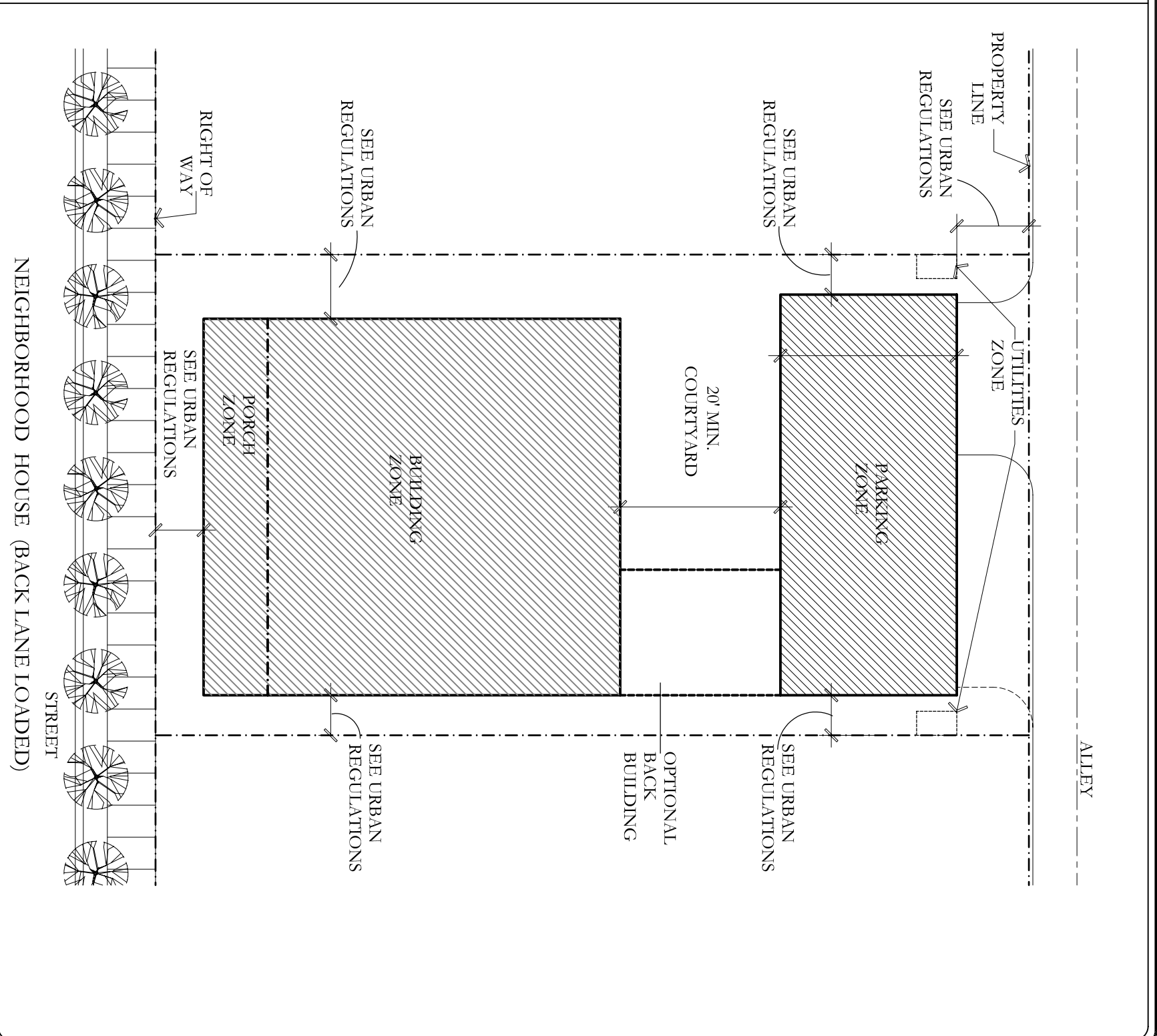
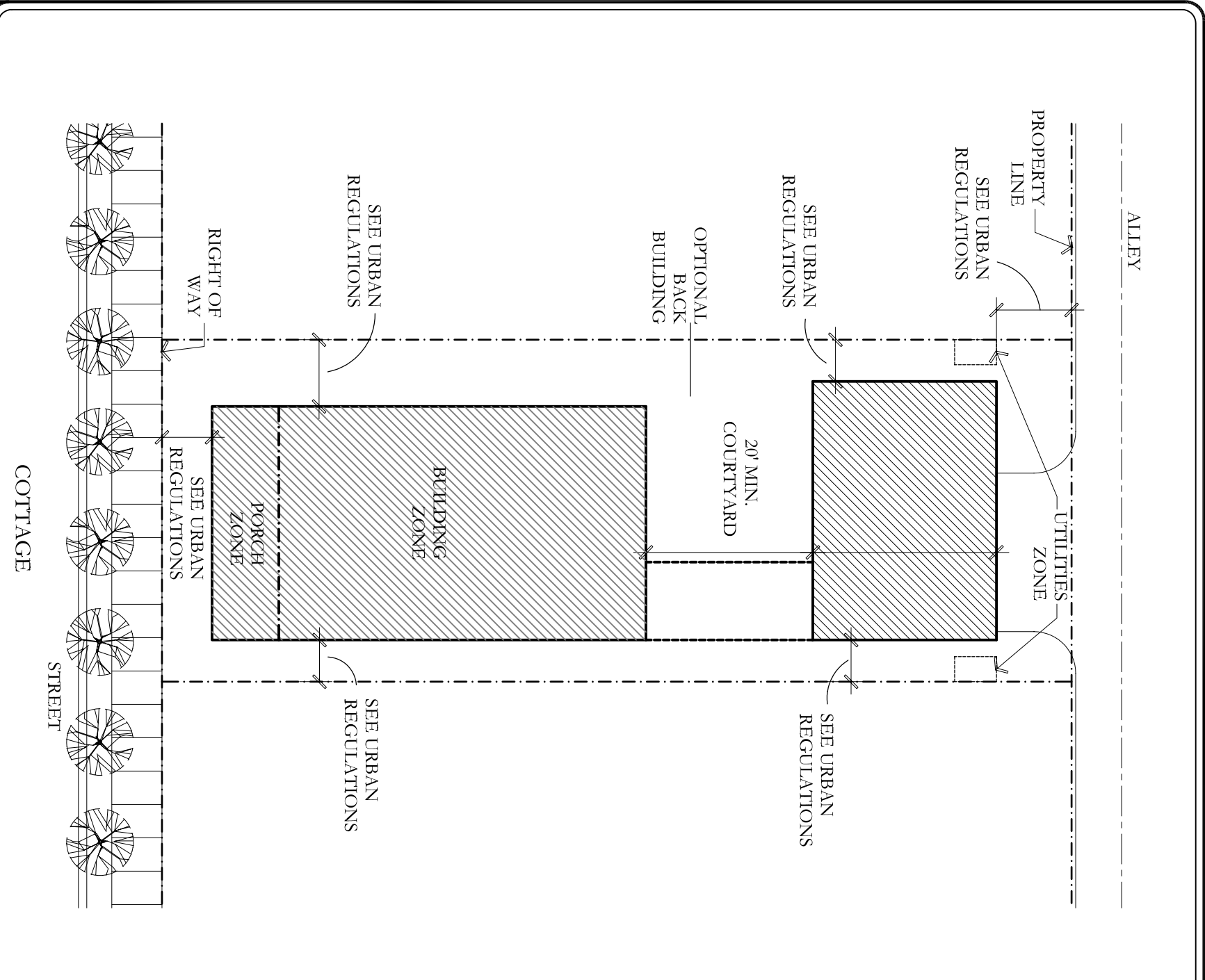
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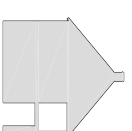
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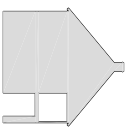


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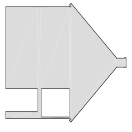
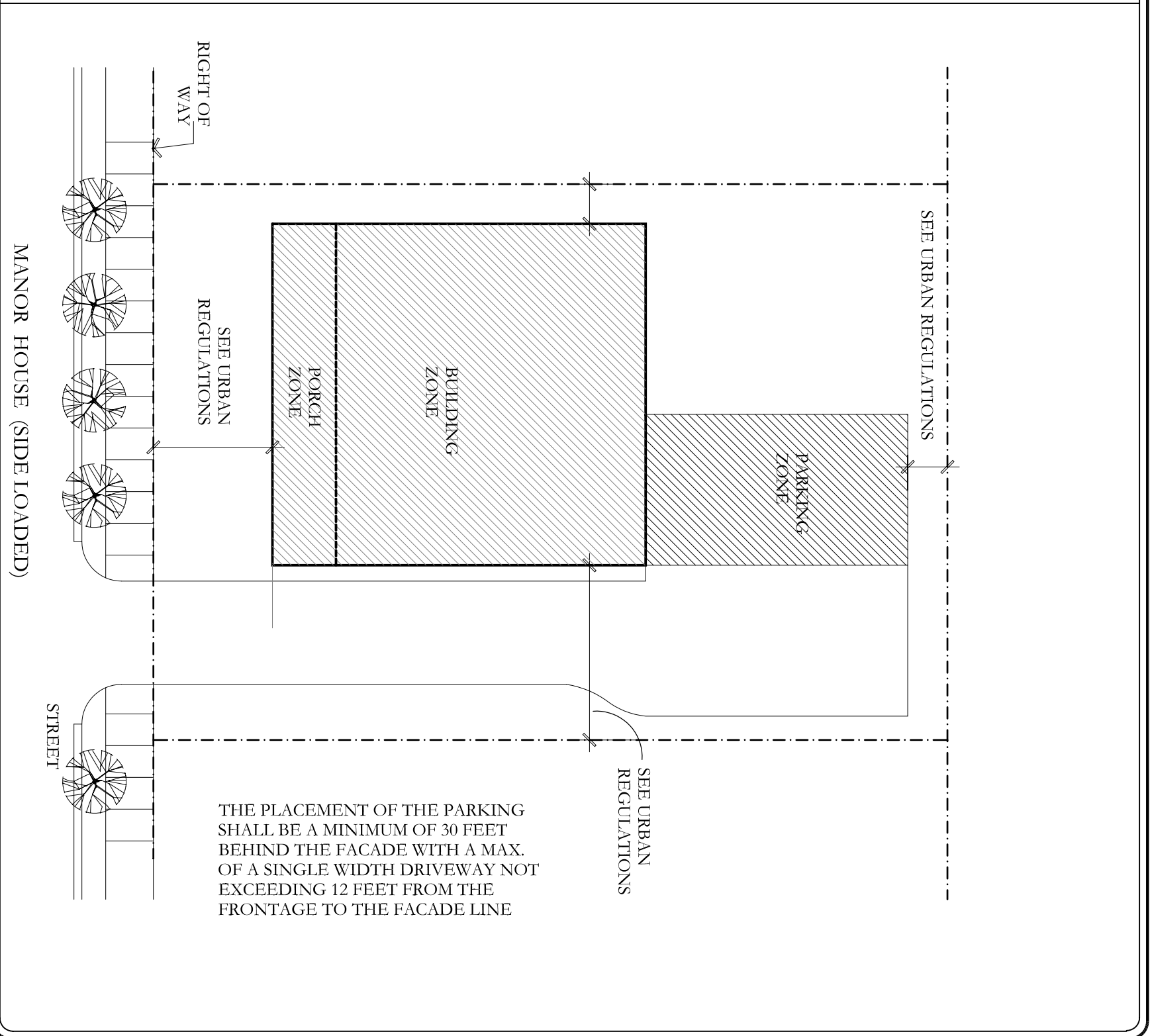
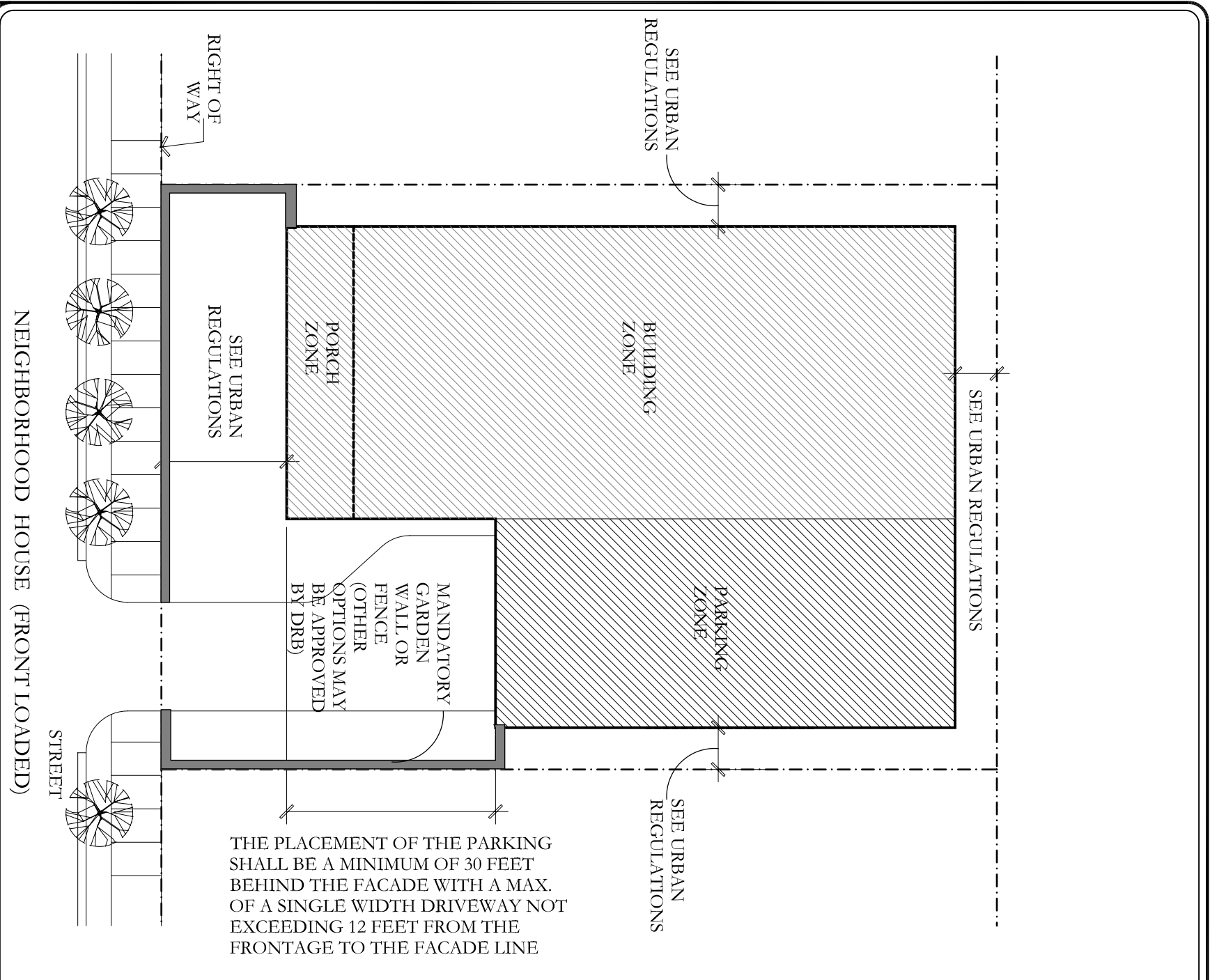


PLACEMENT DIAGRAM

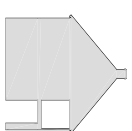
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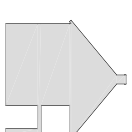


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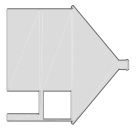
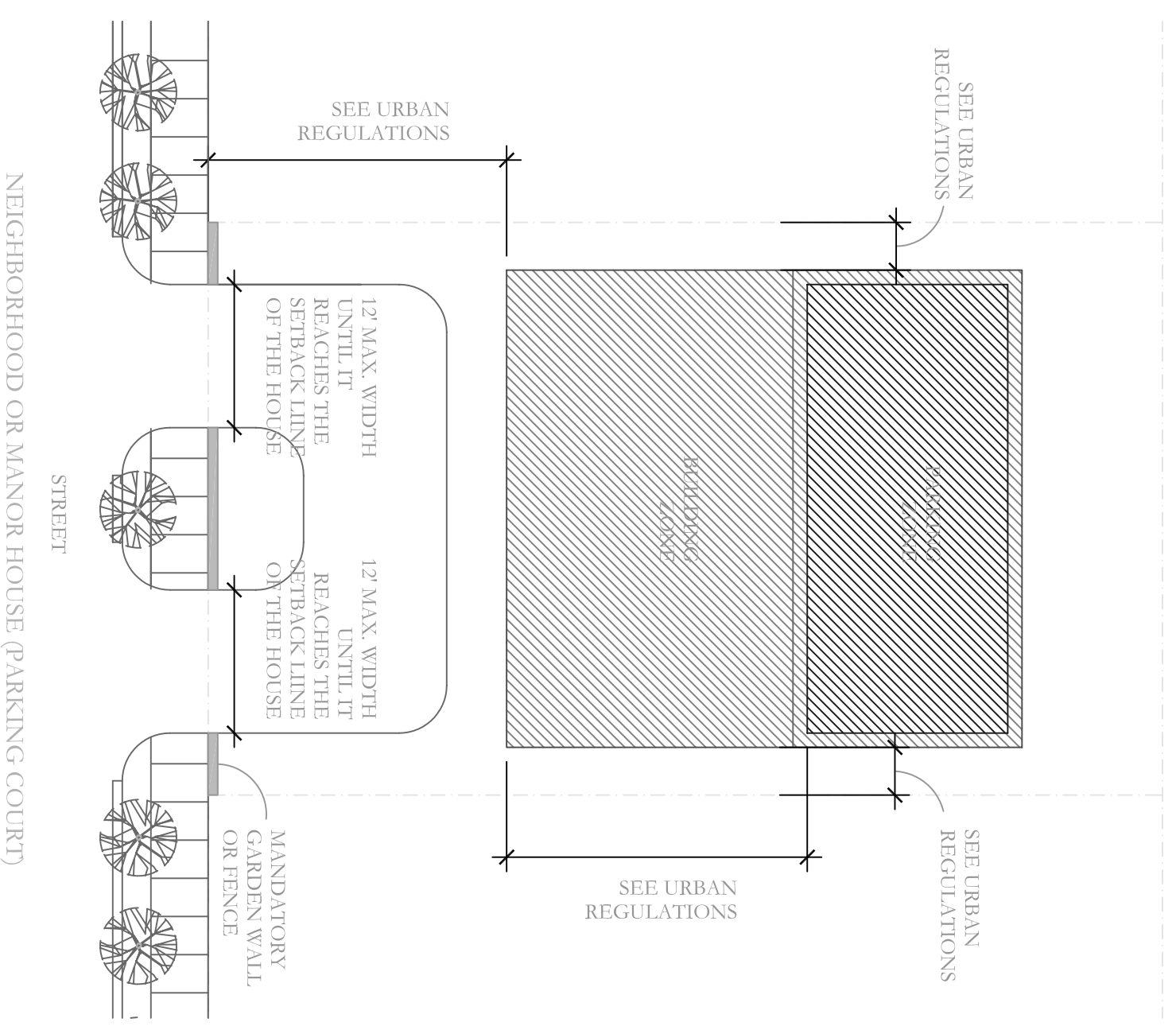
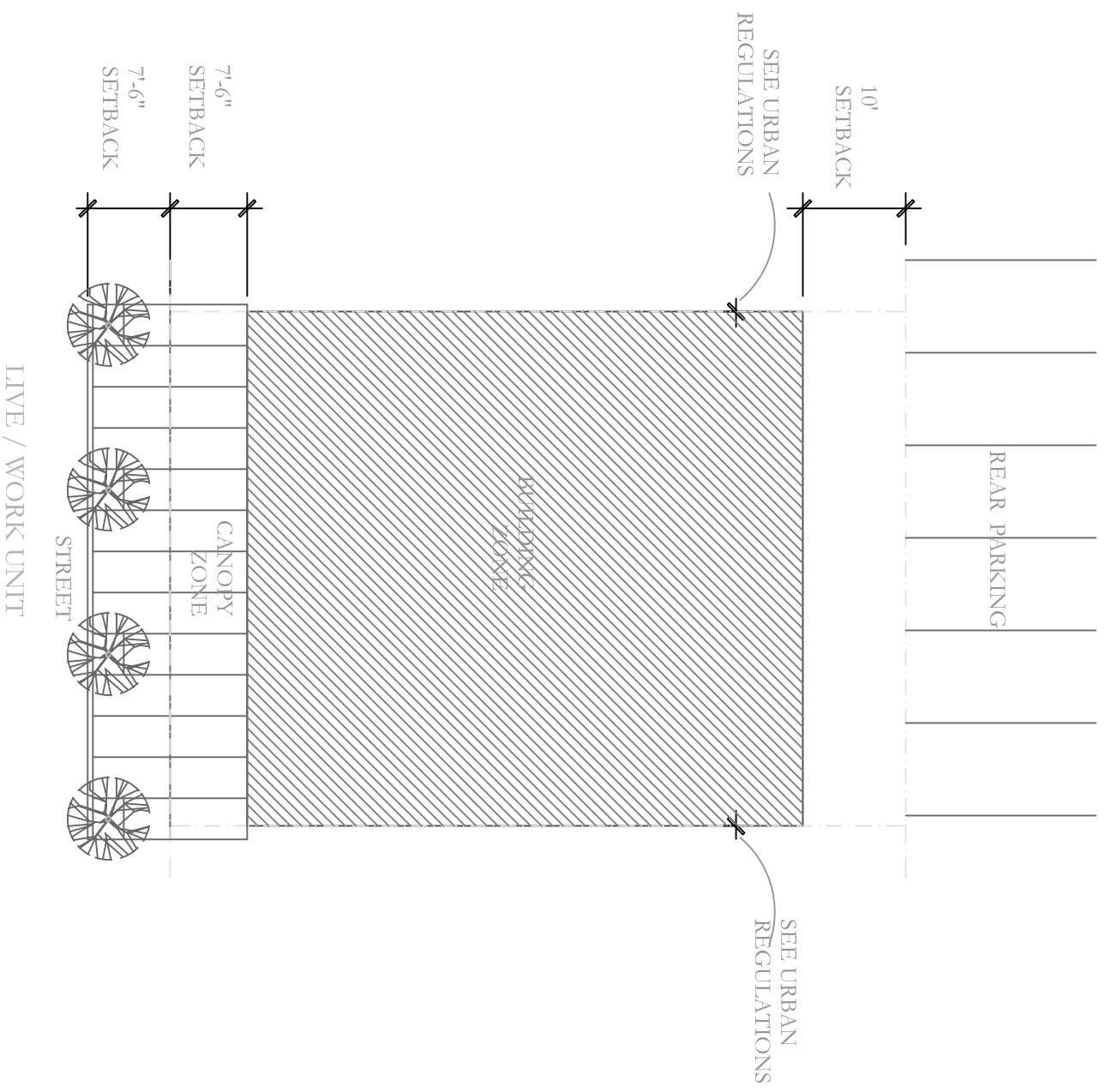


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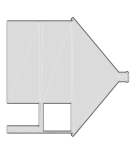
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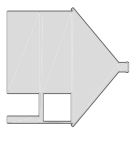
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# THE SETTLEMENT AT WILLOW GROVE

## Architectural Regulations

### Features

	Building Walls	Building Elements	Roofs	Windows and Doors
Materials	<ul style="list-style-type: none"> <li>TYPES. VINYL AND METAL SIDING AND PREFABRICATED OR MODULAR CONSTRUCTION AND EXTERIOR INSULATION FINISH SYSTEMS ARE PROHIBITED.</li> <li>TYPE I: WOOD EXTERIOR WOOD, INCLUDING BUT NOT LIMITED TO SIDING, TRIM, COLUMNS, BALUSTRADES, PORCH DECKS, DECKS, FASCIAS, PLYWOOD SOFFITS, AND SHUTTERS MUST BE CAPABLE OF WITHSTANDING THE ELEMENTS AND BE RESISTANT TO ROT SUCH AS CEDAR, REDWOOD, MAHOGANY OR CEMENT BOARD, WOOD CLAPBOARD OR CEMENT BOARD, BOARD AND BATTEN, THEN SEAL WITH PAINT OR STAIN.</li> <li>HORIZONTALLY APPLIED BOARDS (BEVELED OR DROP SIDING) AND WOODEN SHINGLES ARE PERMITTED. PLYWOOD AND DIAGONAL SIDING ARE NOT PERMITTED.</li> <li>TYPE II: STUCCO STUCCO IS ALLOWED OVER WOOD FRAME OR MASONRY CONSTRUCTION. STUCCO MUST HAVE A SMOOTH, TROWEL APPLIED AND SAND FINISH. SPRAYED APPLICATIONS AND SWIRL OR OTHER HEAVILY TEXTURED PATTERNS ARE PROHIBITED.</li> <li>TYPE III: BRICK FOUNDATION WALLS AND PIERS SHALL BE PARGED BLOCK, BRICK, SMOOTH-FINISHED POURED CONCRETE OR STUCCO. RETAINING WALLS SHALL BE MASONRY OR STUCCO. OLD BRICK IS ENCOURAGED.</li> <li>BUILDING WALLS SHALL BE FINISHED IN STUCCO WITH SMOOTH SAND FINISH OR BRICK EITHER NATURAL OR PAINTED FROM PRE-APPROVED PALETTE.</li> <li>UNDERCROFTS SHALL BE SKIRTED. HORIZONTAL WOOD BOARDS OR FRAMED WOOD MAY BE INSTALLED WITH SPACES BETWEEN MEMBERS NOT LARGER THAN 1.5" OR SMALLER THAN 0.75". LATTICE (HORIZONTAL AND VERTICAL ONLY) MAY BE INSTALLED BETWEEN WOOD PIERS AND PILINGS, AND BRICK SCREENS MAY BE INSTALLED BETWEEN CONCRETE PIERS AND PILINGS.</li> <li>GARDEN WALLS SHALL GENERALLY BE CONSTRUCTED OF THE SAME MATERIAL AS THE FIRST FLOOR OF THE PRIMARY BUILDING. MASONRY PIERS WITH WOOD PICKETS MAY REPLACE SOLID MASONRY WALLS. WOOD MAY REPLACE MASONRY AT THE REAR PROPERTY LINE. MASONRY WALLS SHALL BE MADE OF STUCCO, CONCRETE, OR BRICK WHILE GATES SHALL BE WOOD OR STEEL. WALLS MAY BE PERFORATED.</li> </ul>	<ul style="list-style-type: none"> <li>CHIMNEYS SHALL BE FINISHED WITH STUCCO OR BRICK. THE BASE SHALL BE BRICK OR STUCCO WITH A CORBELED SQUARE TOP CAPPED WITH AN ORNAMENTAL HOOD MATERIAL OF COPPER, ANODIZED ALUMINUM, SLATE, OR MASONRY.</li> <li>PIERS AND ARCHES SHALL BE STUCCO OR BRICK.</li> <li>PORCH RAILINGS SHALL BE MADE OF WOOD OR IRON WHILE PORCH FLOORS AND POSTS MAY BE WOOD OR MASONRY. PORCHES MAY BE ENCLOSED WITH GLASS OR SCREENS; HOWEVER, GLASS ENCLOSURES ARE NOT PERMITTED AT FRONTAGES. PORCH CEILINGS MAY BE ENCLOSED WITH PAINTED WOOD, EXPOSED JOISTS SHALL BE PAINTED OR STAINED.</li> <li>STOOPS SHALL BE MADE OF WOOD, BRICK OR CONCRETE. IF CONCRETE, A STOOP SHALL HAVE BRICK, TILE OR STUCCO WALLS.</li> <li>DECKS SHALL BE LOCATED ONLY IN REAR YARDS AND WHERE NOT EASILY VISIBLE FROM STREETS OR PATHS, ELEVATED A MAX. OF 18" ABOVE GRADE AND PAINTED OR STAINED.</li> <li>METAL ELEMENTS SHALL BE NATURAL-COLORED GALVANIZED STEEL, ANODIZED OR ESP ALUMINUM, COPPER, OR MARINE-GRADE ALUMINUM</li> <li>PICKETS, POLES, AND BOARDS SHALL BE MADE OF WOOD OR TREATED WOOD AND PAINTED OR STAINED. FENCES SHALL BE MADE OF WOOD, TREATED WOOD, WROUGHT IRON, BRICK, OR STUCCO AND MAY HAVE STUCCO PIERS OR BRICK PIERS.</li> <li>DRIVEWAYS CAN BE OF CONCRETE, PREAPPROVED PALETTE OF BRICK OR CONCRETE PAVERS.</li> </ul>	<ul style="list-style-type: none"> <li>ROOFS SHALL BE CLAD IN ONE OF THE FOLLOWING MATERIALS: WOOD SHINGLES, SLATE, SYNTHETIC SLATE, ASPHALT, CONCRETE, GALVANIZED STEEL, OR COPPER (5 V CRIMP OR STANDING SEAM). COLORS TO BE APPROVED BY DRB.</li> <li>GUTTERS AND DOWNSPOUTS, WHEN USED, SHALL BE MADE OF GALVANIZED STEEL, COPPER (NOT COPPER-COATED), ANODIZED OR ESP ALUMINUM. DOWNSPOUTS SHALL BE PLACED AT THE CORNER OF THE BUILDING LEAST VISIBLE FROM NEARBY STREETS. SPLASH BLOCKS SHALL BE MADE OF CONCRETE, BRICK OR GRAVEL.</li> <li>COPPER ROOFS, FLASHING, GUTTERS AND DOWNSPOUTS SHALL BE ALLOWED TO AGE NATURALLY (NOT PAINTED OR SEALED).</li> <li>ROOF RIDGES SHALL BE CLAD IN TERRA COTTA, CONCRETE, SLATE OR STONE.</li> </ul>	<ul style="list-style-type: none"> <li>WINDOWS AND DOORS SHALL BE WOOD OR CLAD WOOD. GARAGE DOORS SHALL BE WOOD OR ALUMINUM. DOORS SHALL BE PAINTED OR STAINED.</li> <li>SHUTTERS SHALL BE OPERABLE WOOD FLAT PANELS, LOUVERED, RANDOM BOARD, OR BOARD AND BATTEN.</li> <li>SECURITY DOORS AND WINDOW GRILLES MUST BE APPROVED.</li> <li>WINDOWS NOT VISIVLE FROM THE STREET MAY BE OF OTHER MATERIAL AND CONFIGURATION (I.E. SOLID VINYL).</li> </ul>
Configuration & Techniques	<ul style="list-style-type: none"> <li>BUILDING WALLS MAY BE BUILT OF NO MORE THAN TWO MATERIALS AND SHALL ONLY CHANGE MATERIAL ALONG A HORIZONTAL LINE, I.E. BRICK MAY BE COMBINED WITH WOOD SIDING WHEN THE MATERIAL CHANGE OCCURS HORIZONTALLY (TYPICALLY AT A FLOOR LINE), WITH THE HEAVIER MATERIAL BELOW THE LIGHT. WALLS OF A SINGLE BUILDING MUST BE BUILT IN A CONSISTENT CONFIGURATION. WOOD CLAPBOARD SHALL BE HORIZONTAL.</li> <li>SIDING SHALL BE HORIZONTAL, MAXIMUM 4" TO 6" TO THE WEATHER.</li> <li>STUCCO OR PLASTER COATING MAY BE APPLIED TO CONCRETE BLOCK OR POURED CONCRETE. STUCCO SHALL BE STEEL TROWELED.</li> <li>TRIM SHALL NOT EXCEED 6" IN WIDTH AT CORNERS AND 4" IN WIDTH AROUND OPENINGS, EXCEPT AT THE FRONT DOOR.</li> <li>WHERE A WALL OR FENCE ON ONE PROPERTY MEETS A TALLER OR SHORTER WALL OR FENCE ON ANOTHER PROPERTY, IT IS THE RESPONSIBILITY OF THE LATTER DESIGNER TO TRANSITION THEIR WALL OR FENCE TO THE HEIGHT OF THE FORMER.</li> </ul>	<ul style="list-style-type: none"> <li>CHIMNEY FLUES SHALL BE A MINIMUM OF 2:1 PROPORTION IN PLAN AND CAPPED WITH COPPER, PREFINISHED METAL, OR GALVANIZED TO CONCEAL SPARK ARRESTERS. FLUES SHALL BE NO TALLER THAN REQUIRED BY THE BUILDING CODE. EXTERIOR FIREPLACE ENCLOSURES AND CHIMNEYS SHALL EXTEND TO THE GROUND.</li> <li>PIERS SHALL BE NO LESS THAN 12" X 12". POSTS SHALL BE NO LESS THAN 6" BY 6".</li> <li>ARCADES AND BREEZEWAYS SHOULD HAVE VERTICALLY PROPORTIONED OPENINGS.</li> <li>RAILINGS SHALL HAVE TOP AND BOTTOM RAILS. WOOD TOP RAILS SHALL BE EASED AND BOTTOM RAILS SHALL HAVE A VERTICAL SECTION. TOP AND BOTTOM RAILS SHALL BE CENTERED ON THE BOARDS OR PICKETS. THE OPENINGS BETWEEN THE MEMBERS SHALL BE A MINIMUM OF 1" AND A MAXIMUM OF 4".</li> <li>BALCONIES SHALL BE STRUCTURALLY SUPPORTED BY BRACKETS, TAPERED BEAMS, OR COLUMNS.</li> <li>DRIVEWAYS CONSTRUCTED OF MATERIAL OTHER THAN CONCRETE SHALL ALLOW THE PUBLIC CONCRETE SIDEWALK TO RUN CONTINUOUSLY WITHOUT DISRUPTION THROUGH THIS AREA OF THE DRIVEWAY.</li> <li>FENCES SHALL HAVE NO MORE THAN A 2" GAP BETWEEN PICKETS.</li> <li>FENCES ON ADJACENT LOTS SHALL HAVE DIFFERENT DESIGNS, SUBJECT TO THE APPROVAL OF THE TOWN ARCHITECT. WHERE A FENCE ON ONE PROPERTY MEETS TALLER OR SHORTER FENCE ON ANOTHER PROPERTY, IT IS THE RESPONSIBILITY OF THE LATTER DESIGNER TO TRANSITION THEIR FENCE TO THE HEIGHT OF THE FORMER.</li> <li>FOUNDATIONS SHALL BE GROUND FLOOR ON GRADE FOR FRENCH COLONIAL HOUSES, ACADIAN RAISED COTTAGES, CREOLE RAISED COTTAGES, AND CREOLE URBAN COTTAGES. RAISED FOUNDATIONS FOR FRENCH COUNTRY HOUSES, FRENCH TOWNHOUSES, AND ACADIAN COTTAGES. FOUNDATIONS RAISED ON BRICK PIERS ENCLOSED WITH WOOD LATTICE FOR CREOLE COTTAGES.</li> <li>OUTBUILDINGS SHALL BE DETACHED EXCEPT AT FRENCH COUNTRY HOUSES AND TOWNHOUSES THEY ARE ATTACHED.</li> </ul>	<ul style="list-style-type: none"> <li>PRINCIPAL ROOF ON ALL FREESTANDING BUILDINGS SHALL BE A SYMMETRICAL HIP OR GABLE WITH A SLOPE OF 8:12 TO 12:12. ALSO ALLOWED ARE GABLED HIPS, HIPPED GABLES, AND FLARED HIPS. WHERE GARAGES MEET IN A PARTY WALL CONDITION, GABLED ENDS ARE ALLOWED.</li> <li>ANCILLARY ROOFS (ATTACHED TO WALLS OR ROOFS) MAY BE SHEDS SLOPED NO LESS THAN 3:12.</li> <li>EAVES SHALL BE CONTINUOUS, UNLESS OVERHANGING A BALCONY OR PORCH. EAVES SHALL HAVE AN OVERHANG FROM 12" TO 32". OVERHANGING EAVES MAY HAVE EXPOSED RAFTERS.</li> <li>DOWNSPOUTS SHALL BE ROUND AND SHALL MATCH GUTTER FINISH. GUTTERS SHALL BE HALF ROUND.</li> <li>NO THROUGH ROOF PENETRATION FOR MECHANICAL OR ELECTRICAL DEVICES SHALL BE ALLOWED TO PENETRATE THE ROOF AT THE BUILDING'S FRONTAGE(S). PENETRATIONS OF THESE DEVICES AT APPROVED LOCATIONS BE OF COLOR TO MATCH THE ROOF.</li> </ul>	<ul style="list-style-type: none"> <li>WINDOWS SHALL BE RECTANGULAR, VERTICALLY PROPORTIONED AND OPERABLE. TRANSOMS MAY BE ORIENTED HORIZONTALLY WITH PANES WHICH MATCH OTHER CONFIGURATIONS. MULTIPLE WINDOWS IN THE SAME ROUGH OPENING SHALL BE SEPARATED BY A 4" MINIMUM POST. THE WINDOW SASH SHALL BE LOCATED INTERIOR TO THE CENTERLINE OF THE WALL. WINDOW SILLS IN MASONRY CONSTRUCTION SHALL PROJECT A MINIMUM OF 1 INCH FROM THE FACE OF THE BUILDING. WINDOWS SHALL BE VERTICALLY PROPORTIONED 4/4 OR 6/6 DOUBLE HUNG OR CASEMENT WINDOWS.</li> <li>ALL VERTICALLY SUPERIMPOSED OPENINGS SHALL BE CENTERED ALONG THE VERTICAL AXIS.</li> <li>WINDOW MUTTINS ARE ENCOURAGED AND SHALL BE TRUE DIVIDED LIGHT OR FIXED ON THE INTERIOR AND EXTERIOR SURFACES, AND SHALL CREATE PANELS OF SQUARE OR VERTICAL PROPORTION.</li> <li>LINTELS SHALL BE STUCCO, BRICK, STONE, OR SOLID WOOD.</li> <li>NON ALLEY GARAGE DOORS ON FRONT LOAD LOTS SHALL BE A MAXIMUM OF 10' IN WIDTH. GARAGE DOORS SHALL BE PAINTED OR STAINED. OVERHEAD GARAGE DOORS WILL BE ALLOWED BUT AT FRONT LOAD LOTS SHALL BE CLAD WITH PLANKS TO RESEMBLE SWINGING DOORS.</li> <li>SHUTTERS WHEN USED SHALL BE OPERABLE, SIZED AND SHAPED TO MATCH THE OPENINGS. SHUTTERS IN ACCORDANCE WITH SPECIFIC ARCHITECTURAL TOPOLOGIES IS ENCOURAGED.</li> <li>THERE MAY BE NO MORE THAN ONE CIRCULAR OR HEXAGONAL WINDOW ON ANY PRINCIPAL ELEVATION.</li> <li>RECTANGULAR WINDOWS SHALL BE OPERABLE CASEMENT, SINGLE HUNG, DOUBLE HUNG. CIRCULAR AND HEXAGONAL WINDOWS MAY BE FIXED.</li> <li>DRIVEWAY GATES SHALL BE IN-SWINGING AND HAVE A MAXIMUM OPENING OF WIDTH OF 12'.</li> </ul>



THE SETTLEMENT AT WILLOW GROVE				
Architectural Regulations				
Features				
	Building Walls	Building Elements	Roofs	Windows and Doors
Amenities	<ul style="list-style-type: none"> <li>VARIANCES TO THE ARCHITECTURAL REGULATIONS MAY BE GRANTED ON THE BASIS OF ARCHITECTURAL MERIT.</li> <li>BUILDING WALLS SHALL BE ONE COLOR PER MATERIAL USED. COLORS OF STUCCO SHALL BE WARM IN TONE, SUBJECT TO APPROVAL FROM THE WILLOW GROVE ARCHITECT. PAINTS FOR MASONRY APPLICATIONS SHALL HAVE A FLAT FINISH. ALL EXTERIOR WOOD SIDING SHALL BE PAINTED OR STAINED, PREFERABLY ON BOTH SIDES. TRIM (BALCONY AND PORCH POSTS, RAILS, WINDOW TRIM, RAFTER TAILS, ETC) SHALL BE PAINTED TO COMPLIMENT THE COLUMNS AND OVERALL VALUE OF THE BUILDING. AN ACCENT COLOR, FOR ITEMS SUCH AS THE FRONT DOOR, PICKETS, TRIM, AND SHUTTERS, MAY BE USED SUBJECT TO APPROVAL FROM TOWN ARCHITECT. WALLS AND FENCES SHALL BE IN A RANGE OF COLORS APPROVED FOR THEIR RESPECTIVE MATERIALS. OTHER COLORS MAY BE ADDED TO THE LIST AFTER CONSULTATION WITH THE TOWN ARCHITECT. PLEASE REFER TO OUR CURRENT LISTING FOR PRE-APPROVED COLORS. LISTED UNDER THE MARTIN SENOUR AUTHENTIC COLONIAL COLORS SERIES.</li> </ul>	<ul style="list-style-type: none"> <li>TRIM (BALCONY AND PORCH POSTS, RAILS, WINDOW TRIM, RAFTER TAILS, ETC) SHALL BE PAINTED OR STAINED TO COMPLIMENT THE COLUMNS AND OVERALL VALUE OF THE BUILDING. AN ACCENT COLOR FOR ITEMS SUCH AS THE FRONT DOOR, PICKETS, TRIM, AND SHUTTERS MAY BE USED SUBJECT TO APPROVAL FROM THE WILLOW GROVE ARCHITECT.</li> <li>GARAGE APRONS OFF PUBLIC STREETS SHALL BE OF SQUARE OR RECTANGULAR PERVIOUS CONCRETE PAVERS, OR BRICK. PAVERS MUST CONTRAST DRASTICALLY WITH THE STREET SURFACE COLOR. ALLEY APRONS CAN BE EXPOSED AGGREGATE CONCRETE.</li> <li>MAIL BOXES SHALL BE AS MANUFACTURED BY WALPOLE WOODWORKERS, 767 EAST STREET, WALPOLE, WA 02081. PHONE: 1.800.343.6948. MODEL #261910. PAINTED WHITE OR SELECTED BY DEVELOPER.</li> <li>THE FOLLOWING SHALL BE SUBJECT TO APPROVAL FROM THE SETTLEMENT AT WILLOW GROVE ARCHITECT: BRICK, MORTAR COLORS, COLORS AND PATTERNS, FENCE DESIGNS AND EXTERIOR LIGHT FIXTURES.</li> <li>THE FOLLOWING SHALL BE PERMITTED ONLY IN REAR YARDS OR WHERE NOT EASILY VISIBLE FROM STREET OR PATHS. HVAC EQUIPMENT ("SILENT" MODELS PREFERRED), UTILITY METERS, SATELLITE DISHES, PERMANENT GRILLS, PERMANENT PLAY EQUIPMENT, HOT TUBS (THOSE AT GROUND LEVEL MUST BE COVERED), AND GARBAGE COLLECTION EQUIPMENT.</li> <li>IN-GROUND SWIMMING POOL WILL BE PERMITTED.</li> <li>THE FOLLOWING SHALL NOT BE PERMITTED: PANELIZED WALL MATERIALS, STUCCO COVERED QUOINS, BOWED WINDOWS, WINDOW AIR-CONDITIONING UNITS, EXTERIOR FLUORESCENT LIGHTS, EXTERIOR POLE-MOUNTED FLOOD LIGHTS, ABOVE-GROUND POOLS (EXCEPT THOSE OF THE INFLATABLE VARIETY), ANTENNAS, FLAGS AND FLAG-POLES (EXCEPT OFFICIAL FLAGS OF COUNTRIES, STATES, PARISHES, CITIES OR OTHER ASSOCIATION SANCTIONED FLAGS FLOWN FROM 6' POLES MOUNTED AT A 45 DEGREE ANGLE TO BUILDING WALLS), SIGNS (ON PRIVATE PROPERTY), EXTERNAL ALARM SYSTEM SPEAKERS, AND SKYLIGHTS.</li> </ul>	<ul style="list-style-type: none"> <li>THE FOLLOWING SHALL NOT BE PERMITTED: METAL FINISHES IN ANY COLOR OTHER THAN THOSE INDICATED IN THIS DOCUMENT.</li> </ul>	<ul style="list-style-type: none"> <li>THE FOLLOWING SHALL NOT BE PERMITTED: WINDOWS IN PLAN CAN NOT BE CURVED.</li> </ul>
Notes	<ul style="list-style-type: none"> <li>THESE REGULATIONS WILL BE UPDATED PERIODICALLY, AND ALL SUBSEQUENT CHANGES WILL APPLY TO ALL BUILDINGS WHICH HAVE YET TO COMPLETE THE SCHEMATIC DESIGN PHASE.</li> <li>THESE REGULATIONS ARE STRICTLY AESTHETIC IN THEIR INTENT. IN CASES OF CONTRADICTION WITH LOCAL SAFETY CODES, THESE REGULATIONS SHALL BE OVERRULED. IN NO WAY DOES COMPLIANCE WITH THESE REGULATIONS EXEMPT A STRUCTURE FROM CONFORMANCE WITH OTHER APPLICABLE CODES. ANY VARIATIONS REQUIRED SHALL BE MADE KNOWN TO THE WILLOW GROVE ARCHITECT IN WRITING.</li> </ul>			

## OUTLINE MATERIAL CHARACTERISTICS AND SPECIFICATIONS

### **Unit Masonry:**

Brick unit masonry shall be chosen from the palettes of molded brick selections pre-approved for use within the Development by the Design Review Board. Concrete masonry units shall not be considered acceptable for exposed applications.

### **Exterior Architectural**

#### **Woodwork:**

Exterior architectural woodwork shall be limited to custom or premium grades of woodworking and shall include, but is not limited to, exterior standing and running trim, exterior ornamental work, pediment heads, pilasters, cupolas, railings, columns, exterior plywood soffits, exterior frames and jambs, and exterior shutters. Species of wood for exterior woodwork shall include Honduras mahogany, clear all heart redwood, all heart western red cedar, clear all heart red cypress, or treated southern pine as suitable for retaining painted finish coatings, high density polymer molded products, cement board "Clear-Lam" engineered products or approved equal. Clear Fir may be used for soffit molding only.

#### **Exterior Siding:**

Exterior siding shall consist of 1x6 or 1x8 wood or cement board.

#### **Roofing:**

Shall be one of the following:

Raised seam gray metal, slate, approved gray or brown asphalt shingle (min-300# per sq.) pre approved synthetic slate, or V-cripp galvanized metal. All ridges shall be capped with terra cotta, slate or approved man-made stone ridge caps.

### **Flashing and Sheet Metal**

#### **Accessories:**

Flashing and Sheet Metal Accessories shall include, but is not limited to, roof drainage systems, exposed trim, copings, and metal flashings. Metals suitable for use for these applications shall include anodized aluminum, galvanized steel, copper, and stainless steel. Roof vents shall be copper or galvanized metal. (Paint-Grip galvanized is approved). These items shall be painted black.

#### **Fences:**

Fence shall be surfaced on four sides (S4S) wood in the styles and configurations as indicated in the historic architectural details. Alternate designs are encouraged but must be approved in advance by the Design Review Board (DRB).

### **Windows:**

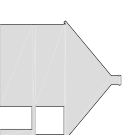
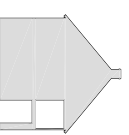
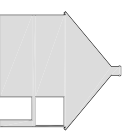
Wood window units shall be limited to primed wood window units for field painting, and vinyl clad wood window units as approved by the Design Review Board. Windows not visible from the street may be solid vinyl. All window units shall have divided lights with authentic wood muntins and mullions in the styles and configurations as indicated in the Architectural regulations. Insulated glazing shall be allowed for use, however tint and reflectivity shall be limited to a maximum of 10%.

#### **Cement Plaster (Stucco):**

Portland cement plaster shall consist of three coat work over metal lath. A factory-prepared integrally colored synthetic finish coat shall be considered acceptable for use, however adherence to color palette by painting, if required, shall still remain.

#### **Garden Walls:**

Garden walls shall be constructed of approved cement plaster / synthetic plaster, or approved unit masonry. Areas requiring mandatory garden walls will be indicated on a Mandatory Fence / Garden Wall Plan. Fence plan of this document indicating locations and material. Where walls & fences are not indicated or indicated as mandatory, the owner shall have the option of constructing them utilizing the following approved materials: Garden walls constructed of brick shall utilize only the approved Willow Grove brick and details. Garden walls constructed of stucco shall utilize only the approved stucco finish and details. All perimeter lots shall provide garden walls or six (6) foot wood fencing as per DRB directive.



# THE SETTLEMENT AT WILLOW GROVE

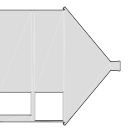
## FRENCH STYLE

### EXAMPLE IMAGES

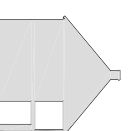


### MAIN DISTINGUISHING CHARACTERISTICS

- French details are very simple, non-ornamental.
  - Incised porches are common.
  - The roof is usually steeply pitched roof, either hipped or side gabled.
  - Narrow door and window openings with paired shutters are common.
  - Front door is usually a pair of French doors with 3 lights.
- French architecture has evolved over several hundred years. The influences can be attributed to colonial France, Acadian migration, and Creole influences. Each represents a different influence affected by their homeland climate. Steep pitches, large porches, and double doors which allow cross ventilation are characteristics which symbolize this elegant architecture.
- French Colonial:**
- Exposed rafter ends
  - Three openings on front elevation
- Acadian:**
- Absent center hall door
  - Four openings on front elevation
- Creole:**
- Exposed rafter ends
  - Absent center hall door
  - Four openings on front elevation

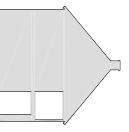


THE SETTLEMENT AT WILLOW GROVE  
DESIGN CODE  
Baton Rouge, Louisiana



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FRENCH  
STYLE



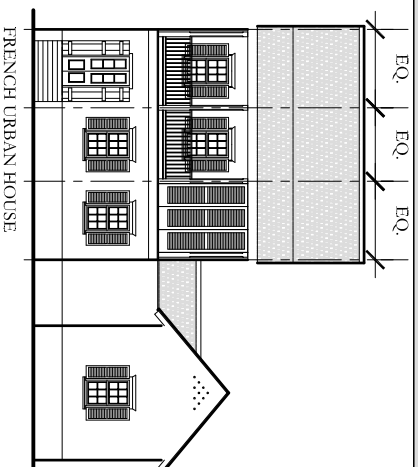
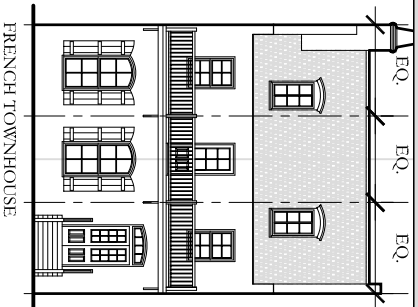
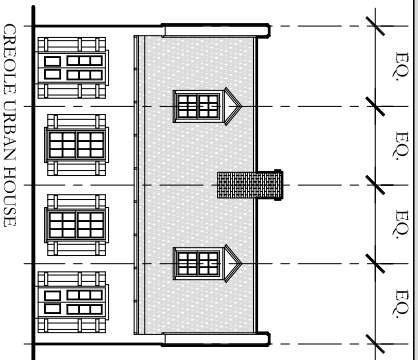
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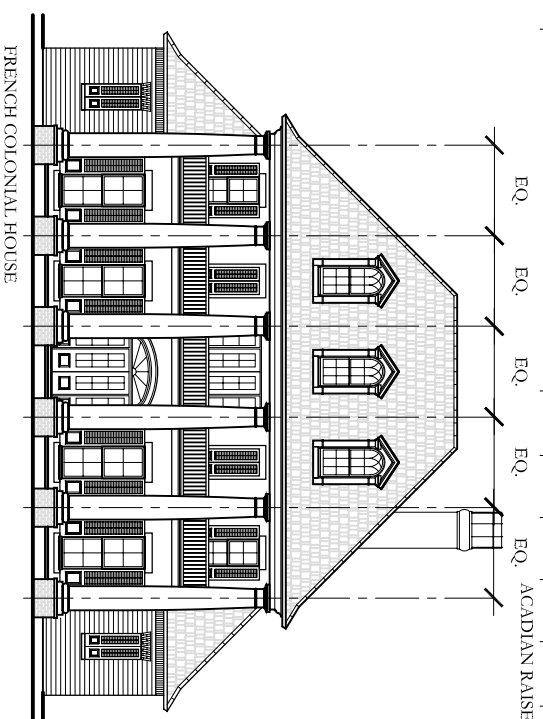
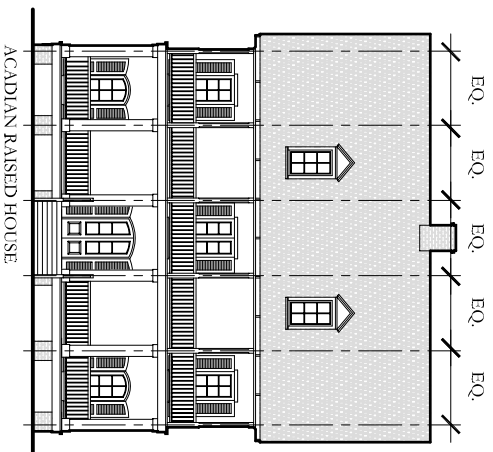
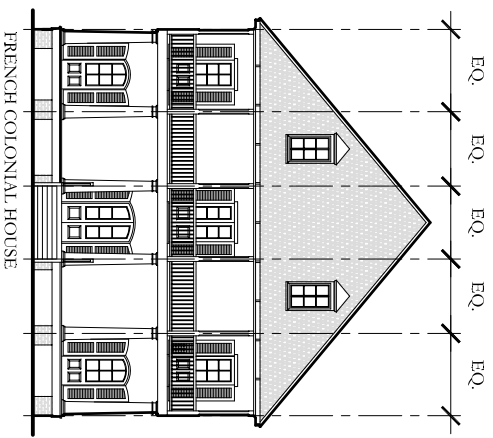
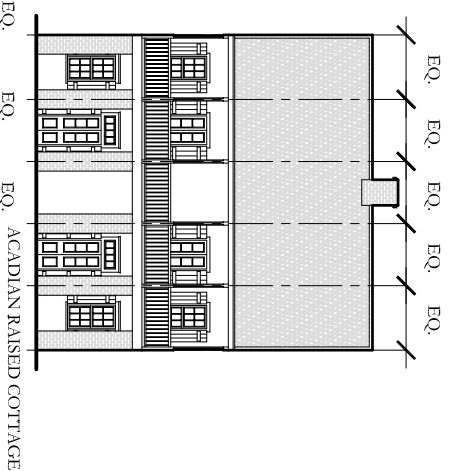
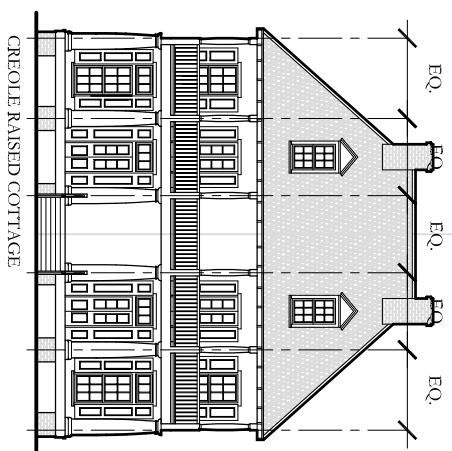
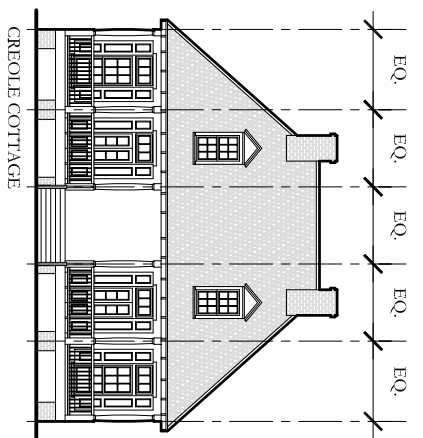
## FRENCH TYPOLOGIES

### ELEVATIONS

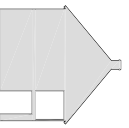
### BASIC MASSING



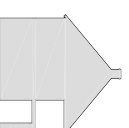
- Urban Tradition  
No porch and built right up to the adjacent sidewalk (townhouse)  
The roof has flared eaves that overhang the front facade
- Rural Tradition  
Extensive porches supported by slender wooden columns under the main roof line; usually hipped roof and commonly raised on high masonry foundations; the porch area supported by massive masonry columns



THESE DIAGRAMS ILLUSTRATE A RANGE OF POSSIBILITIES FOR HOUSE DESIGNS USING THE SETTLEMENT AT WILLOW GROVE DESIGN CODE.

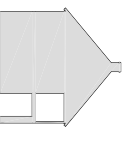


THE SETTLEMENT AT WILLOW GROVE  
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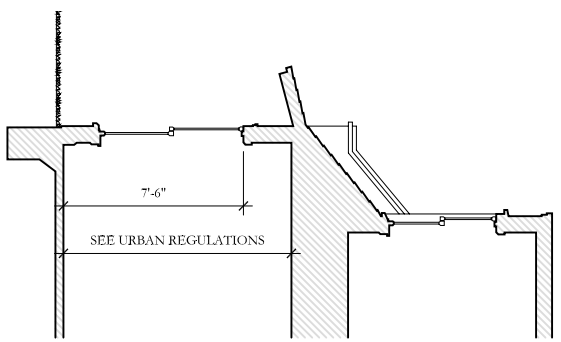
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FRENCH  
TYPOLOGIES

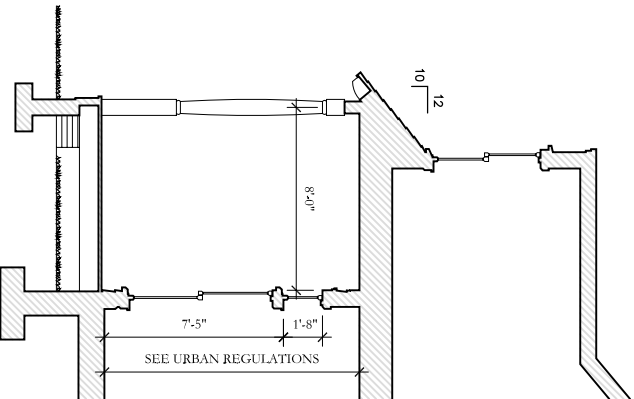


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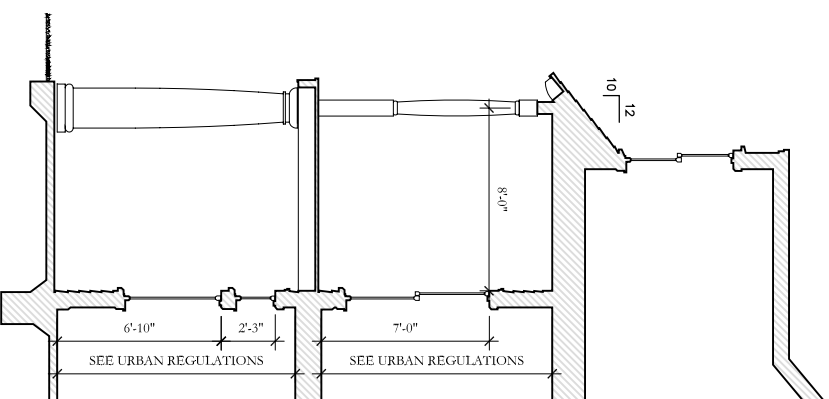
## Typical Sections



TYPICAL TOWNHOUSE SECTION

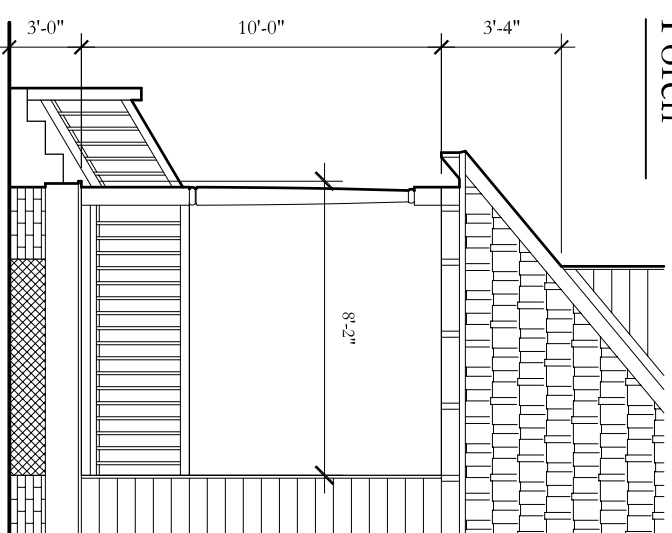


TYPICAL FRENCH SECTION

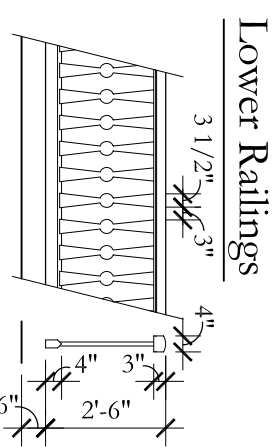


TYPICAL RAISED FRENCH SECTION

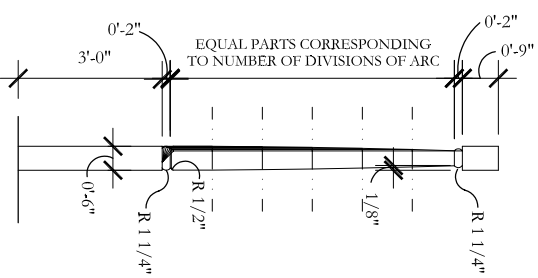
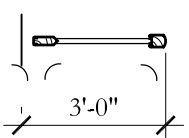
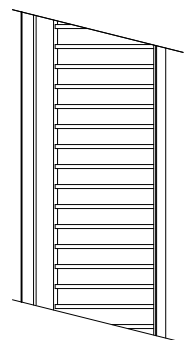
## Porch



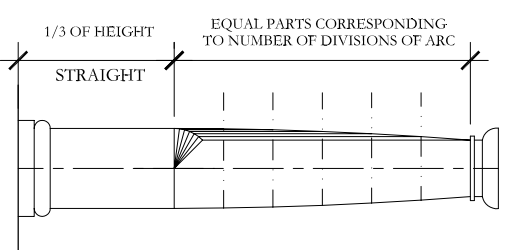
## Columns and Pilasters



Lower Railings

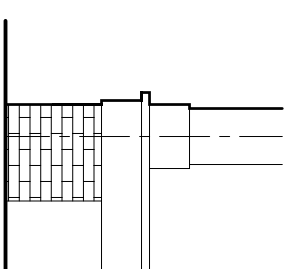


EQUAL PARTS CORRESPONDING TO NUMBER OF DIVISIONS OF ARC



EQUAL PARTS CORRESPONDING TO NUMBER OF DIVISIONS OF ARC

## Typical Porch End Detail



## DESCRIPTION

- Roofs:**  
Configuration and Techniques:
- Principal roof on all freestanding buildings shall be symmetrical hip or gable with a slope of 8:12 to 12:12. Also allowed are gabled hips, hipped gables, and flared hips. Where garages meet in a party wall condition, gabled ends are allowed.
  - Ancillary roofs (attached to walls or roofs) may be sheds sloped no less than 3:12.
  - Commonly have hipped roof main cabin, surrounded by a sloped roof gallery to shade the walls of the house to make optimum use of cooling breezes in the hot summer.
  - May have double-pitched hipped roof.
  - The French porch is symmetrical and runs the full length of the facade.
  - Columns have a regular spacing of between 8 to 12 feet on center. Houses 24 to 36 feet wide have three "bays" for the front facade length, or five bays for porches that wrap one or two sides. The 40 foot wide house has a five bay porch. The porch can extend beyond the main body and wrap around the sides.
  - French Colonial columns are stucco Doric on the first floor and wood square with flamb's tongue or turned on the second floor. French Colonial railings are simple square or turned wood or metal balustrades.
  - Acadian porches usually have rectilinear columns without trim for one story houses and for the second story columns on two story houses. The first floor columns on two story houses are more massive with either no detail, or a minimum capital expression. Wood, square columns with flamb's tongue detailing are common. Railings have simple square or carved balustrades with intermediate posts for railings over 9' in length.
  - Creole porches usually have turned or square columns without trim for the one story houses and for the second story columns on the two story houses. The first floor columns on two story houses are Doric. The proportions of the Doric column is of particular importance. The railings can have either turned, or straight balustrades.
  - The majority of French porches are of frame construction set up on masonry piers. The void between masonry piers may remain open without infill.

## PORCH



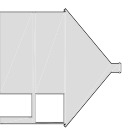
## COLUMNS



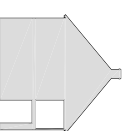
RAILING



COLUMNS

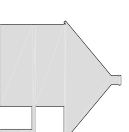


## THE SETTLEMENT AT WILLOW GROVE DESIGN CODE Baton Rouge, Louisiana



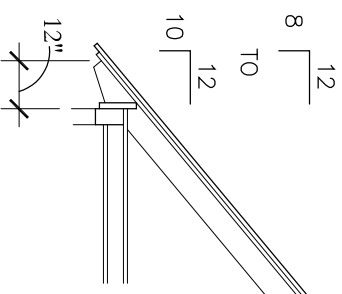
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## FRENCH EXAMPLE DETAILS

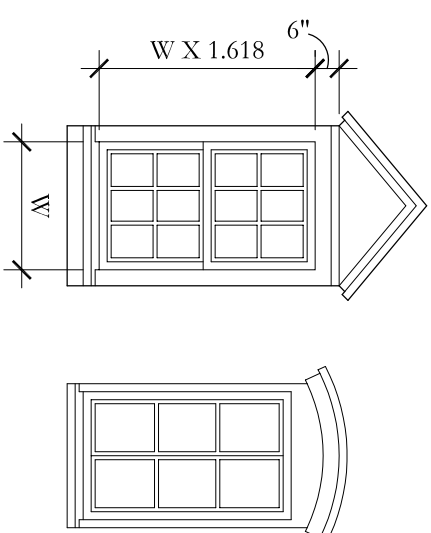


11.19.06

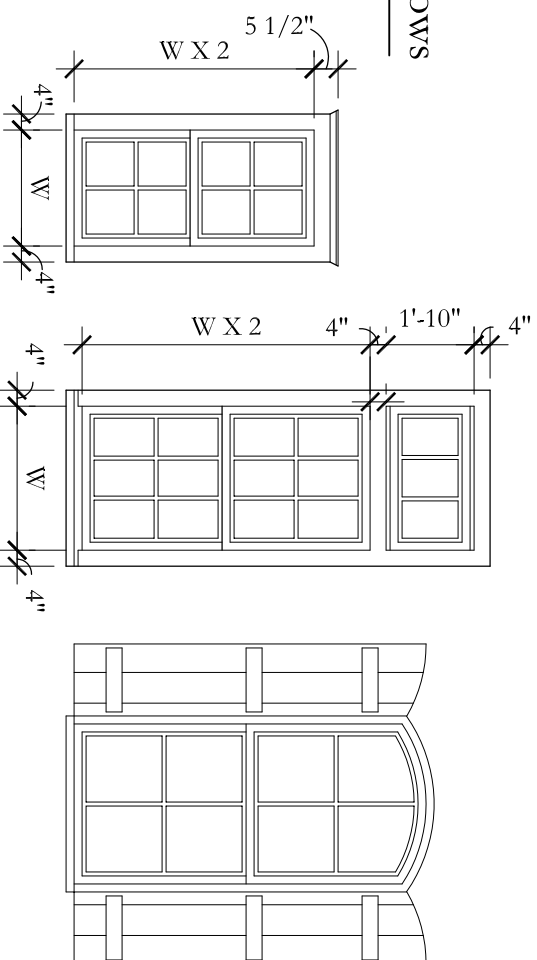
### Eave/Cornice



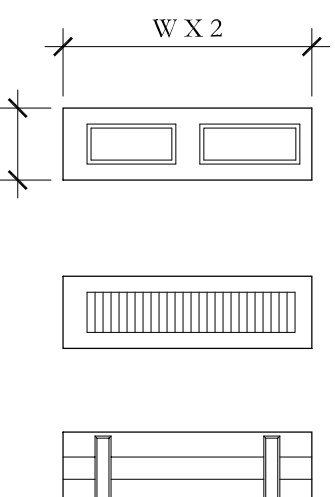
### Dormer



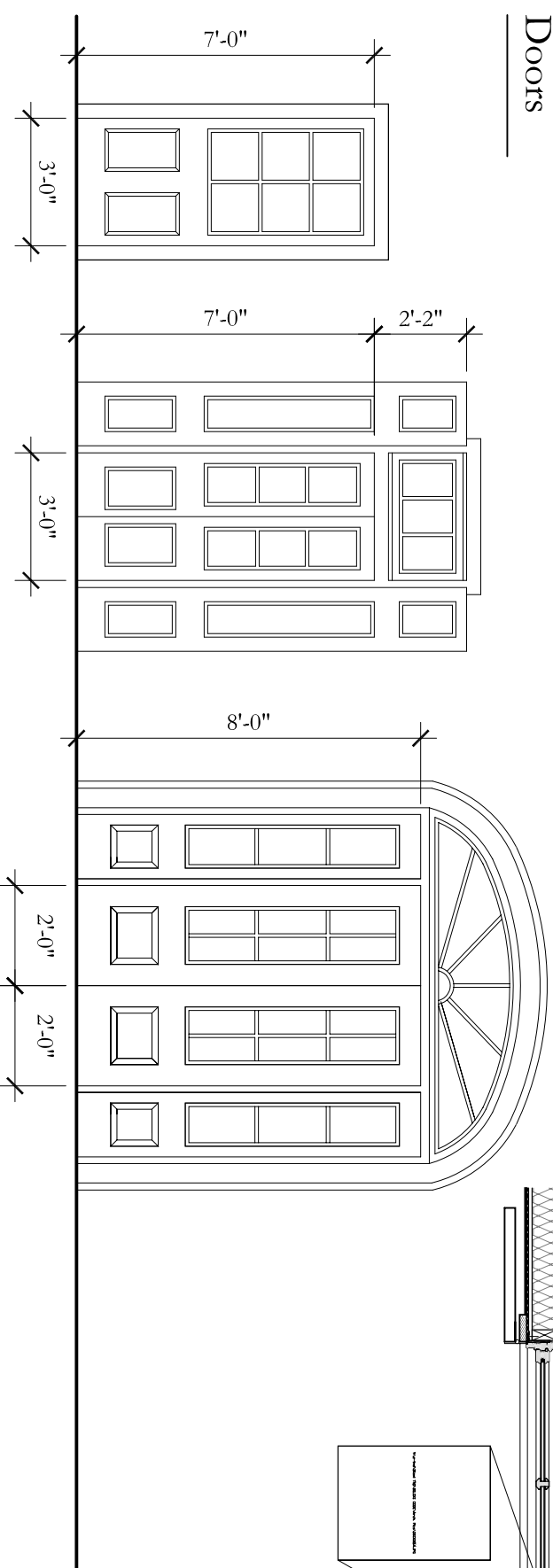
### Windows



### Shutters

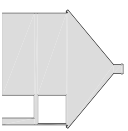


### Doors

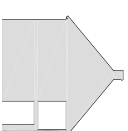


#### DESCRIPTION

- Roofs:**  
 Configuration and Techniques:  
 - Eaves shall be continuous, unless overhanging a balcony or porch. Eaves shall have an overhang from 16" to 32". Overhanging eaves may have exposed rafters.  
 - Tall and narrow gabled dormers
- Windows and Doors:**  
 Configuration and Techniques:  
 - All vertically superimposed openings shall be centered along the vertical axis.  
 - Early French windows were paired wooden casements which swing inward; glazed with small panes of glass and were covered by vertical board shutters which had horizontal battens on the interior and swing outward on iron strap hinges, window surround is narrow and simple, later used double-hung sashes  
 - Windows should be 4 over 4 or 6 over 6 lights, double hung or casement windows  
 - French doors, with small glass panes set above wooden panels  
 - Transoms lights above French doors sometimes or an Adam style fanlight  
 - Simple narrow surround to frame French doors  
 - Vertical board shutters hung on strap hinges cover doors and transoms, but not Adam fanlight  
 - Shutters - interior surface was sometimes paneled  
 - Shutters swing outward and doors swing inward  
 - Louvered French doors and louvered shutters to shade casement windows

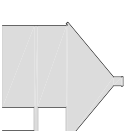


THE SETTLEMENT AT WILLOW GROVE  
 DESIGN CODE  
 Baton Rouge, Louisiana



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F R E N C H  
 EXAMPLE DETAILS



11.19.06

## THE SETTLEMENT AT WILLOW GROVE LANDSCAPE CODE

### A. Minimum Requirements

#### I. PLANS:

a) The landscape plans shall be drawn at a minimum of 1/8" per foot, and shall clearly show the name and placement of all proposed plant materials, as well as the quantities and sizes. A plant legend showing the quantity, type, and sizes of all specified plants shall be on the plan.

b) All plans shall be drawn in accordance with Louisiana Horticultural Law and shall bear the seal of the design professional designing the landscape. The owner/contractor must also provide the name of the designer and landscape contractor that will be installing the landscaping.

c) All landscape installation must follow the minimum guidelines established by the Louisiana Nursery and Landscape Association (LNLA) and the American Nursery and Landscape Association (ANLA). The Board and/or the Residential Homeowners' Committee reserve the right to restrict landscape contractors who do not follow the restrictions set forth in the Master Declaration (or any applicable Supplemental Declaration) or who choose not to follow the standards for landscaping set forth by the LNLA or the ANLA.

d) Watering systems must be utilized in all gardens spaces and may either be standard irrigation with stationary heads, drip irrigation with movable heads, or 'soaker' hoses. The schematic design of the watering system shall be included within the landscape plans.

e) The landscape plans shall clearly indicate all property lines, utility boxes and meters, setback lines, servitudes, the house footprint, driveways, paving, landscape lighting, watering systems, walls, fences, sidewalk, back of street curb, edge of the alley pavement, spas, pools, fountains, arbors, pergolas, pigeonaires, or other detached structures. Details or graphic drawings of the hardscape elements shall be included, and for aesthetical purposes, they shall indicate the materials used and methods of construction.

f) Drainage must be clearly indicated and must conform to the subdivision drainage layout approved by the Engineer and the Department of Public Works. The contractor may utilize swales, trench drains, French drains, or subsurface pipe systems. The minimum pipe size for any drainage system is 4 inches or multiple pipes with an equivalent conveyance. It is the designer's responsibility to properly size the drain pipes based on each individual site. Drain outfall boxes shall extend to the street curb and will not be allowed to spill onto the sidewalk in the front of the lot. In special circumstances, pipes 3 inches and smaller may daylight through the barrier curb and spillout into the street gutter. These pipes shall be an approved rigid material such as PVC or metal and the curb shall be saw cut and neatly replaced.

## **II. PLANTS:**

### **Village Center**

- a) This area will have its own separate set of landscaping requirements.

### **Village Edge & Village General**

- a) The front yards must be planted with a minimum of 2 Class “B” trees arranged so as not to conflict with the matured growth of the street trees.
- b) There shall be a minimum of 12 inches of green space for planting of ground covers between the base of all fences and walls and the sidewalk.
- c) A minimum of 75% of the front yard must be planted with shrubs and ground covers. The remainder, if any, can be lawn.
- d) There shall be a minimum of one Class “B” tree planted on the alley side of the house and a minimum of 50 square feet of green space for tree, shrub, and ground cover planting.
- e) Utility boxes shall be screened if possible, but plantings must not interfere with servicing or maintenance on these facilities.
- f) Trees shall be a minimum of 2” caliper for standard trees, and multi-trunked trees shall have a minimum of 3 canes at a minimum of 1” caliper each.
- g) Interior courtyards or gardens behind walls or fences, shall have a minimum of 40 square feet of landscaping of trees, shrubs or ground covers. Any private courtyards or pools must be screened from all views by walls or fences.
- h) Any lawns must be solid sod and may be certified Centipede, St. Augustine, Bermuda, or Zoysia. No seeding or sprigging is allowed.
- i) Any landscape lighting shall not shine directly onto adjacent properties and the maximum light wattage for landscaping lighting is 25 watts per fixture.

### **B. Plan Submittal**

The owner/contractor is responsible for submitting two (2) copies of the landscape plan to the Board and/or the Residential Homeowners Committee for approval. A review fee of \$150 shall be collected at the time of submittal. Plans must be submitted for review prior to “black in”. Once the landscape is installed according to the plans, the design professional must submit a certificate of completion in order to refund the deposit. Should the landscape not be installed according to the minimum guidelines set forth in the restrictions, the deposit may be used to



mitigate the deficiencies. The front yard landscaping must be installed prior to moving in. The other areas of landscaping must be completed within 30 days after moving in.

## **C. PLANT MATERIALS**

### **I. Recommended “Theme” Plants:**

The following plants are recommended for their aesthetic qualities which support the overall design theme and their compatibility with our climate and natural systems. Plant pallets are not limited to this list, but a majority of the plants should come from this list.

#### Trees:

- Live Oak
- Willow Oak
- Nuttall Oak
- Southern Red Oak & cultivars
- Swamp Chestnut Oak
- Shumard Oak
- Sawtooth Oak
- Post Oak
- White Oak
- Bald Cypress
- Green Ash
- Tulip Poplar
- Gordonia
- Crape Myrtle
- Windmill Palm
- Oriental Magnolias & cultivars
- Sweet Bay Magnolia
- Southern Magnolia & cultivars
- Bigleaf Magnolia
- Red Maple
- Savannah Holly
- American Holly & cultivars
- Cassine Holly
- Dahoon Holly
- Redbud
- Dogwood
- Siverbell
- Hawthorns (Crataegus spp.)
- Vitex
- River Birch
- Pistachio

- Chinese Elm & cultivars
- Fringe Tree
- Winged Elm
- American Elm
- Yaupon
- Camellia
- Loquat
- Sweet Olive
- Banana Shrub
- Cherry Laurel
- Slash or Loblolly Pine
- Spruce Pine
- Crabapples
- Ornamental Plum
- Ornamental Cherry

Shrubs & Ground Covers:

- Azaleas
- Indian Hawthorns
- Hollies
- Boxwood
- Pittosporum
- Hydrangea
- Camellia
- Abelia
- Ligustrum
- Gardenias
- Sweet Olive
- Beauty Bush
- Buddelias
- Nandinas
- Spireas
- Mahonias
- Loropetalum
- Bananas
- Sago Palm
- Mediterranean Fan Palm
- Chinese Fan Palm
- Needle Palm
- Palmetto
- Mock Orange
- Viburnums
- Oleander

- Cleyera
- Pineapple Guava
- Althea
- Fatsia
- Clump Bamboo
- Philodendron
- Gingers
- Agapanthus
- Daylily
- Liriope
- Mondo Grass
- Asian Jasmine
- Asparagus Fern
- Hardy Ferns
- Ajuga
- Aspidistra
- Ardesia
- Indigo
- Vinca
- English Ivy
- Spider Lily
- Crinum Lily

## **II. Restricted Plants**

The following plants are not allowed due to their incompatibility of the overall theme, the nature of their growth, and their incompatibility with our climate.

Trees:

- Water Oak
- Silver Maple
- Weeping Willow
- Bradford Pear & cultivars
- Arizona Ash
- Tung Oil Tree
- Sweetgum
- Hackberry
- Washingtonia Palm
- Cabbage Palm
- Chinaberry Tree
- Tallow Tree
- Mimosa
- Siberian Elm

- Cedar Elm
- Black Locust
- Italian Cypress
- Privet
- Hibiscus
- Running Bamboo
- Junipers
- All tropical plants will be evaluated on an individual basis

## **Summary of the Restrictions Governing The Settlement at Willow Grove**

Owners are subject to a series of restrictions governing the use and construction of improvements on property within The Settlement at Willow Grove ("**The Settlement**"). While the Master Declaration for The Settlement covers all property within The Settlement, supplemental restrictions and design requirements also apply, based on the location of the property within The Settlement. Furthermore, all of the property within The Settlement is also subject to the PUD Approval Stipulations recorded with the Office of the Clerk of Court and Recorder of Mortgages for East Baton Rouge Parish, Louisiana at Original 487, Bundle 11689.

**Residential Property** within The Settlement includes single family residential lots and are Lots 16 through 96 inclusive, and Lots 103-158 inclusive. Residential Property is governed by the following restrictions:

- I. The Master Declaration of The Settlement at Willow Grove.
- II. The By-Laws of The Settlement at Willow Grove Property Owners' Association, Inc.
- III. The Design Code of The Settlement at Willow Grove.
- IV. The Landscape Code of The Settlement at Willow Grove.
- VII. The Supplemental Declaration of Covenants, Conditions and Restrictions of The Settlement at Willow Grove (Residential Property).

**Townhouse Property** includes the property within The Settlement which includes Townhouse Sites and the Townhouse Common Areas. Townhouse Property is governed by the following restrictions:

- I. The Master Declaration of The Settlement at Willow Grove.
- II. The By-Laws of The Settlement at Willow Grove Property Owners' Association, Inc.
- III. The Design Code of The Settlement at Willow Grove.
- IV. The Landscape Code of The Settlement at Willow Grove.
- VI. The Supplemental Declaration of Covenants, Conditions and Restrictions of The Settlement at Willow Grove (Townhouse Property).

The **Village Center** includes mixed use commercial, retail and residential space. Each building in the Village Center is subject to a condominium regime. The Village Center is governed by the following restrictions:

- I. The Master Declaration of The Settlement at Willow Grove.
- II. The By-Laws of The Settlement at Willow Grove Property Owners' Association, Inc.
- III. The Design Code of The Settlement at Willow Grove.
- IV. The Landscape Code of The Settlement at Willow Grove.
- V. The Supplemental Declaration of Covenants, Conditions and Restrictions of The Settlement at Willow Grove (Village Center).

The **Willow Grove Plantation Home**, located at the rear center portion of The Settlement and including its surrounding area, is owned by the Kleinpeter family and is not subject to these restrictions. The Willow Grove Plantation Home is subject to the PUD Approval Stipulations.

A general overview of restrictions governing persons who may own property, reside, work, shop or visit the various areas of The Settlement are explained below. This summary does not represent a complete description of the covenants, obligations and restrictions applicable to The Settlement. Owners are responsible for adhering to the Master Declaration as well as to any supplemental declaration applicable to them due to the nature of property owned.

Additionally, Owners, Members and/or individual Lots may be subject to **Assessments**, including a Common Assessment, a Special Assessment, a Reimbursement Assessment or any other Assessment levied under the Master Declaration or any Supplemental Declaration. A **Common Assessment** is one made to cover periodic costs of repair, replacement, improvements and maintenance of Common Areas throughout The Settlement. A **Special Assessment** is a charge against an Owner and that Owner's site representing a portion of the costs to the

Association for purposes including the funding of major capital repairs, maintenance, replacements and improvements. A **Reimbursement Assessment** is a charge against an Owner, Member or Related User of an Owner or Member relating to willful or negligent adherence to applicable governing restrictions. Assessments particular to the nature of the property are discussed herein accordingly.

*All Owners of Property within The Settlement at Willow Grove should read the Master Declaration, the By-Laws, the Design Code, the Landscape Code, and the Supplemental Declarations applicable to their property.*

**I. Summary of the  
Master Declaration of The Settlement at Willow Grove**

Certain definitions used within and applying to property within The Settlement include:

**"Declarant,"** which means The Settlement at Willow Grove Development Company LLC.

**"Improvements"** shall mean all structures and any appurtenances thereto of every type or kind including but not limited to, pools, patios, patio covers, awnings, painting or staining of any exterior surfaces of any visible structure, additions, walkways, bicycle trails, sprinkler systems or pipes, garages, roads, driveways, parking areas, fences, screening walls, retaining walls, stairs, decks, fixtures, landscaping, hedges, exterior tanks, solar panels and equipment.

**"Member"** shall mean the Person, or if more than one (1), all Persons collectively, who constitute the Owner of a Residential Site, Townhouse Site or Condominium Site. There shall only be one (1) Member per Privately Owned Site. Voting rights of a Member are not uniform and are set forth in Section 4.4. Condominium Complex Tenants and Townhouse Tenants shall not be Members.

**"Owner"** shall mean the Person (including Declarant), or if more than one (1), all Persons collectively, who hold title of Record to a Privately Owned Site, including sellers under executory contracts of sale and excluding buyers thereunder.

**"Privately Owned Sites"** or **"Site"** shall interchangeably mean all (or any) lot or parcel of land within the Property which is shown upon any Recorded plat, map, or any other parcel of land which may be sold or conveyed without violation of the provisions of Louisiana law pertaining to the subdivision of land, including without limitation the Condominium Site (which shall constitute one Site), the Townhouse Site, the Sales Office, and the Residential Lots. A Supplemental Declaration may provide for the combining, or separation, of any Association Properties containing lots or parcels of land into one (1) or more Privately Owned Sites. "Privately Owned Site" or "Site" shall not include: (a) any property owned by a public body; or (b) the Association Properties owned in fee.

**"Property"** shall mean the property described on Exhibit "A", and includes without limitation, the Association Properties.

**"Related User"** shall mean any: (a) permitted guests and invitees of an Owner, Condominium Complex Tenant or Townhouse Tenant; and (b) occupants, tenants and contract purchasers residing in a Dwelling Unit of an Owner who claim by, through, or under such Owner.

**"Voting Power"** shall mean the percentage of the total vote in the Association to which a Member is entitled hereunder, as more fully described in Section 4.4.

**General Prohibitions**

*Article 1 of the Master Declaration includes general restrictions on property within The Settlement.*

Property within The Settlement cannot be used for mini-storage facilities, plumbing shops, truck terminals, or warehouse or other storage purposes (excluding those incidental to permitted uses). Radio, television, wireless and digital towers or transmitting/receiving devices or facilities are not allowed. Car wash facilities, dance halls, bars, lounges, motor vehicle sales or services, and mobile homes for residential or office uses are prohibited. Similarly, no loudspeakers or audio equipment that can be heard beyond the boundaries of one's property are permitted. Also prohibited within The Settlement are hospitals, group homes and development centers, hotel and motels, coin operating laundromats, parking garages, movie theaters, cemeteries, and schools (excluding limited day care).

### **General Restrictions Applicable to Property**

*Article IX of the Master Declaration details the use restrictions applicable to all of the Privately Owned Sites within The Settlement.*

Property owners must manage and care for their property in a clean and safe condition. Partition of property is prohibited. Environmental laws must be complied with, and no hazardous substances or solid waste can be released or disposed of in the sewage and drainage infrastructures within The Settlement. Noxious, annoying or offensive activities are not permitted. Activities or Improvements which may be unsafe to a person or any property are not allowed.

Firearms cannot be discharged. Open fires are not allowed unless contained within a barbecue unit and tended to.

Unightly structures, facilities and equipment, including garden and maintenance, must be enclosed and hidden from view when not in actual use. Service pipes, wires, poles, antennae, and utility meters should also be kept enclosed, and maintained underground to the extent possible.

Owners must obtain consent from the Board of Directors in order to place any tent, shack or other temporary building or structure upon their property. Board approval is also required in order to install any cesspool, septic tank or other sewage disposal system aside from that installed by a sanitation agency. Permission is needed to install and maintain any individual water supply system for one's property.

If any improvement on one's property is damaged or destroyed, the owner must, within a reasonable time, restore the improvement to its original condition or a condition approved by the Board of Directors or, alternatively, owners can demolish the improvement and landscape the site.

Owners may only keep, raise, and breed, in limited number, domestic pets. All others animals are prohibited.

Vacant sites must be maintained and kept free of garbage, weeds, etc. by the owner. Approval is required in order to stockpile materials.

### **Construction Process**

*Article X of the Master Declaration details the guidelines which contractors are required to follow during construction within The Settlement.*

If the Property Owners Association determines that any builder or construction tradesman is unsuitable, that person may be prohibited from working on property within The Settlement.

During construction, contractors must maintain jobsites in accordance with the Design Code and any applicable declarations.

Construction materials and trash on jobsites must be neatly stored. Waste must be regularly removed from jobsites, and general trash must be removed weekly.

Temporary toilet facilities are required for all jobsites, though multiple jobsites may share facilities if the owners agree.

Only pump trucks are allowed within the property. Concrete trucks can be washed only on the given site for which the concrete is required and used. No spillover to streets or other properties is allowed.

Contractors will be billed by the Association for any damages to streets, curbs, gutters, fences, etc. that require repair by the Association. Contractors must collect damage fees from sub-contractors as is necessary.



No more than 15' of a vacant neighboring site can be used by a contractor. Contractors must be granted use of neighboring sites and must contact the owner of the neighboring property prior to using that owner's site. Any damage caused to the neighboring site must be repaired before a final certificate of occupancy is issued.

Loud music, radios and noise are not allowed. Speakers cannot be mounted on vehicles or on jobsites.

Contractors must act reasonably to protect existing trees. Reference the Landscape Code for further detail.

## II. Summary of the By-Laws of The Settlement at Willow Grove Property Owners' Association, Inc.

Membership in **The Settlement at Willow Grove Property Owners' Association, Inc.** (the "**POA**") is appurtenant to ownership of private property within The Settlement. The intent of the POA is to provide for the maintenance, control and preservation of The Settlement and to promote the health, safety and welfare of the Owners and Related Users of property within the development.

The following four Sub-Associations function as committees of the POA, helping the POA to carry out duties with regard to the properties associated with that Sub-Association: (a) Townhouse Sub-Association for the Townhouse Sites; (b) the Condominium Sub-Association for the Condominium Sites; (c) the Residential Sub-Association, or the Design Review Board, for the Residential Sites; (d) the Commercial Sub-Association for the Commercial Property. Each of the Sub-Associations has its own board of directors consisting of three (3) directors elected by the members of the particular Sub-Association.

The By-Laws of the POA set forth provisions on matters such as voting rights of Members of the POA; the composition, election, powers and duties of the Board of Directors of the POA; and the election and compensation of officers of the POA.

The voting rights of members of are allocated based on the **Voting Power**, as provided in Section 4.4 of the Master Declaration. If more than one person holds an interest in any Privately Owned Site, the vote for such site shall be exercised as determined between the owners of that site and as they advise the Secretary of the POA.

The affairs of the POA shall be governed by a **Board of Directors** (the "**Board**") of not less than three (3) nor more than five (5) directors. Directors will be elected annually, each for a one (1) year term, by the Members according to their Voting Power. Members have the right to elect one (1) at-large director and each of the four Sub-Associations will appoint one (1) representative from its board of directors to serve as a director of the POA.

The Board shall annually elect officers of the POA, including the president, vice president, secretary and treasurer. The Board also has the duty to determine and levy Assessments as described in the Master Declaration or any Supplemental Declaration.

Regarding the election of directors to the POA and other matters affecting the POA, a Member's Voting Power is as follows:

- a) The Declarant is a Class A Member of the POA, with all voting rights during the Appointment Period. As defined in Section 4.5 of the Master Declaration, the "Appointment Period" is the period of time commencing upon the Recordation of the Master Declaration and continuing until the earliest to occur of (i) all Residential Lots in the Residential Property have been sold; or (ii) the Declarant has unanimously voted to voluntarily relinquish its right to appoint three (3) Directors; or (iii) December 31, 2016.
- b) Every Owner of a single family residence is a Class B Member of the POA. Class B Members have one (1) vote per Privately Owned Site after expiration of the Appointment Period and are members of the **Residential Sub-Association**, or the **Design Review Board** (as defined in the Master Declaration).
- c) Every Owner of Townhouse Sites is a Class C Member of the Association. Class C Members have one (1) vote per vote per Privately Owned Site after expiration of the Appointment Period and are members of the **Townhouse Sub-Association** (as defined in the Master Declaration).
- d) Every Owner of Condominium Sites is a Class D Member of the POA. Class D Members have one (1) vote per Condominium Unit owned after expiration of the Appointment Period and are members of the **Condominium Sub-Association** (as defined in the Master Declaration).

- e) Every Owner of a Privately Owned Site that can be used as retail/office is a Class E Member of the POA. Class E Members have one (1) vote per 1,200 useable square feet after expiration of the Appointment Period and are members of the **Commercial Sub-Association** (as defined in the Master Declaration).

The powers and duties of the Board of Directors of the POA includes, but is not limited to, the following:

- (a) Operation, care, upkeep and maintenance of the Association Properties and any other common area designated in any Supplemental Declaration
- (b) Determination of the amounts of funds required for operation, maintenance, and other affairs of the Association;
- (c) Collection of the Assessments and common charges from the Members;
- (d) Employment and dismissal of the personnel, as necessary, for the efficient maintenance and operation of the Association;
- (e) Adoption and amendment of Rules and Regulations covering the details of the operation of the Association;
- (f) Opening of bank accounts on behalf of the Association and designating the signatories required therefor;
- (g) Obtaining insurance for the Association Property, pursuant to the provisions of the Master Declaration and these By-Laws;
- (h) Making of repairs, additions, and improvements to, or alterations of, the Association Property, in accordance with the provisions of the Master Declaration;
- (i) Entering into agreements to provide for the construction and maintenance of utilities and drainage facilities; and
- (j) Appointment and dismissal of members of the Design Review Board which shall be governed by the Residential Declaration.

### **III. Summary of the Design Code of The Settlement at Willow Grove**

The Design Code sets forth restrictions regarding materials, building typologies (depending on which zone one's property is in), setbacks by Lot Number, configurations and techniques for virtually all aspects of one's property, such as building walls, chimneys, porches, stoops, decks, fences, driveways, garages, mailboxes, roofs, windows and doors. All constructions and Improvements on a Site must comply with the Design Code unless the Property Owners' Association grants a variance.

The Design Code supplements the Master Declaration and all other Supplemental Declarations applying to property within The Settlement at Willow Grove. In the event of a conflict between any of the noted declarations and the Design Code, the provisions of the recorded declarations prevail.

The Design Code should be referenced for architectural regulations and styles of property permissible within certain areas of The Settlement. The Design Code should also be consulted for the Design Process Checklist, the Design Review Policy, various appropriate forms, and an overview of the Design Review Procedure.

**IV. Summary of the  
Landscape Code of The Settlement at Willow Grove**

*The Landscape Code should be referenced by any Owner, or Contractor on behalf of an Owner, who is landscaping property within The Settlement at Willow Grove.*

The Landscape Code for The Settlement at Willow Grove sets forth minimum requirements for the Owner/Contractor who is landscaping property. The Landscape Code addresses landscaping plans as well as recommended and restricted plants, which may vary depending on the location of one's property within the Village. The Landscape Code also describes the process an Owner and/or Contractor must go through to submit a landscape plan and review fee for approval.

**V. Summary of the  
Supplemental Declaration of Covenants, Conditions and Restrictions of  
The Settlement at Willow Grove (Village Center)**

The **Commercial Sub-Association** is the committee of the Property Owner's Association as elected by the Owners of Retail Units and Office Units pursuant to the Supplemental Declaration governing the Village Center. The **Condominium Sub-Association** is the committee of the Property Owner's Association as elected by the Owners of Residential Units pursuant to the Supplemental Declaration governing the Village Center.

The **Commercial Common Assessment** is the assessment calculated based upon the Commercial Budget which is assessed against the Owners of Retail Units and Office Units. The **Condo Common Assessment** is the assessment calculated based upon the Residential Budget which is assessed against the Owners of Residential Units.

Certain definitions used within and applying to property within the Village Center include:

"**Common Areas**" shall mean property subject to the Master Declaration which is designated as green space on the Final Plat and includes parking spaces, alleys and streets dedicated for public use.

"**Condo Declarations**" shall mean those certain Condominium Declarations dated \_\_\_\_\_, 2007 and recorded \_\_\_\_\_, 2007 with the Clerk and Recorder of Mortgages of East Baton Rouge Parish, State of Louisiana at Original \_\_\_\_\_, Bundle \_\_\_\_\_.

"**Improvements**" shall mean all buildings or other structures and any appurtenances thereto of every type or kind built on the Village Center Property. Improvements shall include without limitation, walls, patio covers, awnings, decorations, exterior surfaces, additions, walkways, garden sprinkler systems, garages, driveways, parking areas, fences, screening walls, retaining walls, stairs, decks, fixtures, landscaping, antennae, satellite dishes, hedges, exterior tanks, solar panels, equipment, and the painting or redecorating of such. Improvements shall not include impermanent seasonal decorations.

"**Residential Unit**" shall mean that allocated portion and space of an Improvement permitting A-1 through A-2.7, and A-4 zoning uses, as provided in the PUD Approval.

"**Retail Unit**" shall mean that allocated portion and space of an Improvement permitting retail uses as provided in the PUD Approval.

"**Site**" shall mean any portion of land within the Village Center Property upon which Improvements are or will be constructed and which may be sold or conveyed without violation of the provisions of Louisiana law pertaining to the subdivision of land and has been designated as a separate lot or parcel on the Final Plat.

"**Unit**" means an individual Residential Unit, Retail Unit or Office Unit. "Units" refers to all three types of units, collectively. "Unit", with respect to calculating a Commercial Common Assessment due from an Owner of a Retail Unit or Office Unit means (a) 250 square feet in an Office Unit; and (b) 750 square feet in a Retail Unit.

**General Restrictions Applicable to Units**

*Article 6 of the Supplemental Declaration for the Village Center details specific requirements and specifications applicable to Units within the Village Center.*

Owners must submit two sets of plans, prepared by an approved designer, architect or draftsman, for construction, physical alteration (including removal of trees, fences, garden walls, street walls and street edges) or improvements to their property to the Condominium Sub-Association and the Commercial Sub-Association for approval. The procedure is outlined in Section 6.3 of the Supplemental Declaration for the Village Center. All improvements must comply with the Design Code, which provides information on building materials, typologies,

setbacks, heights, etc. Remodeling work or additions to be done to the exterior of a Residential Unit (including painting, landscaping, and fencing) must receive prior approval from the Condominium Sub-Association. The exterior construction of any building must be completed within twelve (12) months from the pouring of its foundation.

Owners are responsible for causing contractors to comply with contractor rules and regulations. Before construction begins, owners or their builders must make a \$500 construction deposit payable to the The Settlement at Willow Grove Property Owners' Association, Inc. in order to ensure a clean jobsite and compliance with applicable restrictions.

Landscaping plans must also be submitted to the Condominium and Commercial Sub-Associations for approval. The entire front yard must be landscaped before a final certificate of occupancy is issued, and complete sodding of the front yard is required within thirty (30) days of completion.

Parking restrictions vary depending on the type of property. Owners and occupants of Residential Units must park in garages or in spaces adjacent to the Residential Unit. Owners and occupants of Retail Units and Office Units must park in parking spaces allocated to and situated near the Retail Unit.

Mobile homes, trailers, or recreational vehicles (RVs) cannot be kept on any portion of the Village Center Property. Unless emergency repair is required, vehicles may only be restored or repaired within enclosed garages.

Interior window coverings are required on all windows, including garage and false windows, unless otherwise approved. See section 6.4.9 for further detail.

Pets must be kept on leashes. Owners are responsible for cleaning up after their pets on any property or the Village Center Common Area. Pets are not allowed on any Site or Village Center Common Area unless accompanied by an adult and carried or leashed. All pets should be registered with the Association and otherwise registered and inoculated as legally required.

Each Owner is responsible for maintaining his Site, residence and driveway in a clean, landscaped condition, including keeping Sites mowed and removing garbage and debris.

An Owner can rent or lease his Unit for its original purpose for a term of at least 30 days. Such lease must be in a written agreement and is subject to all the provisions and restrictions applicable to the Unit.

An Owner must have prior written permission of the Condominium and Commercial Sub-Associations in order to install outside radios, TVs, antennae, or other electrical equipment. Certain antennae and satellites, however, such as for direct broadcast or wireless service, are permissible.

**VI. Summary of the  
Supplemental Declaration of Covenants, Conditions and Restrictions of  
The Settlement at Willow Grove (Townhouse Property)**

The **Townhouse Sub-Association**, or Townhouse Committee, shall mean The Settlement at Willow Grove Townhouse Committee as elected by the Owners of Townhouse Sites pursuant to the Supplemental Declaration governing the Townhouse Property.

**“Townhouse Assessment”** shall mean an assessment for costs as described in Article 5 of the Supplemental Declaration governing the Townhouse Property.

Certain definitions used within and applying to Townhouse Property include:

**“Improvements”** shall mean all residences, buildings or other structures and any appurtenances thereto of every type or kind as are visible outside of the Site from any direction. Improvements shall include without limitation, walls, pools, patio covers, awnings, decorations, exterior surfaces, additions, walkways, garden sprinkler systems, garages, driveways, parking areas, fences, screening walls, retaining walls, stairs, decks, fixtures, landscaping, antennae, satellite dishes, hedges, exterior tanks, solar panels, equipment, and the painting or redecorating of such. Improvements shall not include impermanent seasonal decorations.

**“Owner”** shall collectively mean a Person or all Persons (including Declarant) who hold full or partial title of Record to a Site, including sellers under executory contracts of sale and excluding buyers thereunder.

**“Site”** or **“Townhouse Site”** shall mean any lot or parcel of land within the Townhouse Property designated for residential construction or use which may be sold or conveyed without violation of the provisions of Louisiana law pertaining to the subdivision of land and has been designated as a Site on the Final Plat. Site shall not include the Condominium Site or any other property contemplated in the Master Declaration, which is not part of the Townhouse Property as defined herein.

**“Townhouse Common Area”** or **“Townhouse Common Areas”** shall mean the “Common Area” or “Common Areas”.

**“Townhouse Rules and Regulations”** shall mean the rules and regulations adopted by the Townhouse Committee from time to time pursuant to this Supplemental Declaration.

**“Townhouse Unit”** shall mean a residential building designed for human occupancy, not including any accessory building or garage.

**General Restrictions Applicable to Townhouse Property**

*Article 6 of the Supplemental Declaration for Townhouse Property details specific building requirements and design specifications applicable to all Townhouse Sites.*

All plans for construction, physical alteration (including removal of trees, fences, garden walls, street walls and street edges) or improvements to a Site must be submitted to the Townhouse Committee for approval. The procedure for obtaining approval is outlined in Section 6.2. All improvements must comply with the Design Code, which provides information on building materials, typologies, setbacks, heights, etc. The Townhouse Committee must also approve any and all remodeling work or additions to be done to the exterior of a Residential Unit (including painting, landscaping, and fencing).

Owners are responsible for causing contractors to comply with contractor rules and regulations. Before construction begins, owners or their builders must make a \$500 construction deposit payable to the The Settlement



at Willow Grove Property Owners' Association, Inc. in order to ensure a clean jobsite and compliance with applicable restrictions.

Schools, churches, assembly halls or group homes cannot be built on Sites, and Sites cannot be used for such purposes.

Owners and occupants of any structure located on any Site must park in garages or in spaces constructed for the Site. Vehicles must be completely screened from the view of any public street. Temporary guests and visitors may park on the street.

Mobile homes, trailers, or recreational vehicles (RVs) cannot be kept on any portion of the property. Unless emergency repair is required, vehicles may only be restored or repaired within enclosed garages.

Interior window coverings are required on all windows, including garage and false windows, unless otherwise approved. See section 6.3.9 for further detail.

Moderately scaled play equipment, play yards and basketball goals are allowed within Townhouse Sites. Oversized trampolines are prohibited. Placement of these items should take into account neighboring views and accessibility. The items should not be unsightly nor visible from the street. The Townhouse Committee must approve final placement of these items before they are installed.

Pets cannot roam freely. They must be leashed or kept behind fences. Pet yards should be sized according for the size and number of pets. Any pet yard should be part of the landscape of the yard, or screened from view. Chain-link enclosures are not permitted. Owners are responsible for cleaning up after their pets on any Site or Townhouse Common Area. Pets are not allowed on any Site or Townhouse Common Area unless accompanied by an adult and carried or leashed. All pets should be registered with the POA and otherwise registered and inoculated as legally required.

Each Owner is responsible for maintaining his Site, residence and driveway in a clean, landscaped condition, including keeping Sites mowed and removing garbage and debris.

An Owner can rent or lease his Unit for its original purpose for a term of at least 30 days. Such lease must be in a written agreement and is subject to all the provisions and restrictions applicable to the Unit.

An Owner must have prior written permission of the Townhouse Committee in order to install outside radios, TVs, antennae, or other electrical equipment. Certain antennae and satellites, however, such as for direct broadcast or wireless service, are permissible.

**VII. Summary of the  
Supplemental Declaration of Covenants, Conditions and Restrictions of  
The Settlement at Willow Grove (Residential Property)**

The **Design Review Board** is the Sub-Association of the Residential Property that assists the Association in carrying out duties with regard to the Residential Property. The Design Review Board will be composed of up to three (3) individuals elected by a majority vote of the Owners of the Residential Lots.

A **Residential Assessment** may be levied and collected by the Board of Directors of the Association for matters affecting the Residential Property, Owners of Residential Lots, or the operation of the Design Review Board. Residential Assessments will be in equal amounts per Lot and will be made in writing to the Owner of the Lot.

Certain definitions used within and applying to the Residential Property include:

"**Dwelling Unit**" shall mean a residential building designed for human occupancy, not including any accessory building or garage.

"**Lot**" or "**Residential Lot**" shall mean any lot or parcel of land within the Residential Property designated for residential construction or use which may be sold or conveyed without violation of the provisions of Louisiana law pertaining to the subdivision of land and has been designated as a Lot on the Final Plat. Lot shall not include any other property contemplated in the Master Declaration, which is not part of the Residential Property as defined herein.

"**Owner**" shall collectively mean a Person or all Persons (including Declarant) who hold full or partial title of Record to a Lot, including sellers under executory contracts of sale and excluding buyers thereunder.

"**Perimeter Lots**" are Lots 32-51 and Lots 106-120 as labeled on the Final Plat.

"**Residential Common Area**" or "**Residential Common Areas**" shall mean any portion of the Residential Property which is for the primary use and benefit of all of the Owners of Lots and is designated as Residential Common Area on the Final Plat.

"**Residential Property**" shall mean the property within The Settlement at Willow Grove which shall include without limitation the Residential Lots and the Residential Common Areas.

**Residential Rules and Regulations.** "Residential Rules and Regulations" shall mean the rules and regulations adopted by the Design Review Board from time to time pursuant to this Supplemental Declaration.

**General Restrictions Applicable to Residential Property**

*Article 6 of the Supplemental Declaration for Residential Property details specific building requirements and design specifications applicable to all Residential Lots.*

Lots shall be sold with the description shown on the Final Plat. However, with approval, Lots may be resubdivided or re-platted.

The Design Review Board must approve all plans for construction, physical alteration (including removal of trees; fences, garden walls, street walls and street edges) or improvements to a Lot. The procedures for submitting plans to the Design Review Board for approval are outlined in Section 6.2. All improvements must comply with the Design Code.

With the approval of the Design Review Board, an Owner of two adjoining Lots with frontage on the same street can build a residence on the two Lots, which will be considered as one Lot. However, the scale of the

residence must be comparable to other houses on the street and although the residence may straddle the two lots, the adjacent property should be used for a yard or accessory buildings to the extent possible.

The Design Review Board must approve any and all remodeling work or additions to be done to the exterior of a Residential Unit (including painting, landscaping, and fencing). Work is not allowed beyond Residential Lot lines. Steps, decks, terracing, etc. may not be used within Residential Common Areas.

Owners are responsible for causing contractors to comply with contractor rules and regulations. Before construction begins, owners or their builders must make a \$500 construction deposit payable to the The Settlement at Willow Grove Property Owners' Association, Inc. in order to ensure a clean jobsite and compliance with applicable restrictions.

A residence cannot be occupied until completed in accordance with approved plans and specifications.

Structures such as trailers, basements, shacks, barns or other temporary structures cannot be used as a residence for any period of time. Temporary structures are only allowed while improvements are being constructed and must be removed within 120 days of when placed on the Lot.

Lots can contain home offices for professional business activities, but not for retail. Such offices cannot have more than two full-time employees, including the owner. Additional parking for any employees must be provided in the rear of the Lot. Schools, churches, assembly halls or group homes cannot be built on Sites, and Sites cannot be used for such purposes.

All residences must have a private garage sized to fit at least two but no more than three parking places. Carports are not allowed and garage doors must comply with the Design Code. Owners and occupants of property must park in garages or in spaces constructed near the Lot, which must be completely screened from view of any public street. Service personnel, such as maids, must park in the back of the Lot in a spot specifically approved by the Association for such a purpose. Temporary guests and visitors can park on the street. Unless emergency repair is required, vehicles may only be restored or repaired within enclosed garages.

Perimeter Lots must have a minimum of 1,800 square feet of living (heated and cooled) space, not including storerooms or garages. Other areas of Residential Property are not held to this requirement.

Interior window coverings will be required on all windows, including garage and false windows, unless otherwise approved. See section 6.3.13 for further detail.

Moderately scaled play equipment, play yards and basketball goals are allowed within Residential Lots. Oversized trampolines are prohibited. Placement of these items should take into account neighboring views and accessibility. The items should not be unsightly nor visible from the street. The Design Review Board must approve final placement of these items before they are installed.

Mobile homes, trailers, or recreational vehicles (RVs) cannot be kept on any portion of the Residential Property. A motorboat or similar recreational vehicle may be stored on Residential Property if completely hidden from street view and only if housed completely within a garage approved by the Design Review Board. No overnight parking of school buses, 18-wheeler vehicles, or any other type of commercial or work vehicle or truck can be parked in any Lot driveway or on the street. Nonoperable broken vehicles may not be visible from the street.

Pets cannot roam freely. They must be leashed or kept behind fences. Raising of livestock is not allowed. Pet yards should be sized according for the size and number of pets. Any pet yard should be part of the landscape of the yard, or screened from view. Chain-link enclosures are not permitted. Owners are responsible for cleaning up after their pets on any Lot or Residential Common Area. Pets are not allowed on any Lot or Residential Common Area unless accompanied by an adult and carried or leashed. All pets should be registered with the POA and otherwise registered and inoculated as legally required.

Each Owner is responsible for maintaining all landscaping on his Lot and maintaining his Lot, residence and driveway in clean condition, including keeping Lots mowed and removing garbage and debris. Garbage, trash,

scrap metal or lumber, grass/tree clippings, and plant waste or debris must be kept within an enclosed structure or appropriately screened, except for usual pickup times. Trash or debris cannot be dumped on lots. Owners can keep limited amounts of garden compost on a Lot, but it cannot be visible from the street or be a source of noxious odors or insects.

An Owner can rent or lease a Dwelling Unit constructed on his Residential Lot for residential living purposes for a term of at least 30 days. The lease must be via a written agreement and is subject to all the provisions and restrictions applicable to the Dwelling Unit.

Prior written permission of the Design Review Board is required to install outside radios, TVs, antennae, or other electrical equipment. However, antennae (measuring one meter or less in diameter) for direct broadcast satellite or wireless service via satellite, or video programming or television broadcast antennae are permissible.

Lots 16 through 24, 83 through 96, and 103 through 105 are zero lot lines and must comply with the requirements for zero lot lines as set forth in the Unified Development Code.

**Step 1. DOCUMENTS FAMILIARIZATION**

Lot Purchase Agreement  
The Entire Design Guideline  
The Declaration of Covenants

**Step 2. CONCEPT REVIEW**

Submit Form A: Concept Review Application  
Complete Schematic Drawings  
Site Plan  
Floor Plans  
Elevations  
Variances

**Step 3. CONSTRUCTION DOCUMENTS REVIEW**

Submit Form A: Sketch Review Application  
(Bearing The Settlement at Willow Grove's Stamp of Approval)  
Submit Form B: Construction Document Review Application  
Submit Form C: Materials & Finishes List  
Complete Construction Documents  
Site Plan  
Floor Plans  
Elevations  
Details  
Coverage Calculations & Storm Water Containment Plans  
Landscape Plan  
Variances

- Function of the Design Review Process: To encourage the architectural harmony of The Settlement at Willow Grove, the developer and all property owners are bound by regulations defined in The Settlement at Willow Grove Declaration of Covenants and by the requirements contained in this document. To that end, no structure or improvement shall be erected or altered until approvals described in this document have been obtained.
- Scope of Responsibility: The Settlement at Willow Grove has the right to exercise control over all construction in The Settlement at Willow Grove and will also review all alternations and modifications to structures and improvements (even after initial construction is complete), including, but not limited to: painting, renovations, and landscaping.
- Enforcing Powers: Should a violation occur, The Settlement at Willow Grove has the right to an injunctive relief, which requires the owner to stop, remove, and/or alter any improvements in a manner that complies with the standards established by The Settlement at Willow Grove. Approval by The Settlement at Willow Grove does not relieve an owner of his/her obligation to obtain any governmental approvals. If such approvals are required and are not obtained by the owner, The Settlement at Willow Grove and/or the applicable governmental agency may take whatever actions are necessary against the owner to force compliance.
- Limitations of Responsibility: The primary goal of The Settlement at Willow Grove is to review the submitted applications in order to determine if the proposed construction conforms to The Design Guidelines. The Settlement at Willow Grove does not assume responsibility for the following:
  - a. The structural adequacy, capacity, or safety features of the structure and/or improvement.
  - b. Non-compatible or unstable soil conditions, soil erosion, etc.
  - c. Compliance with any or all building codes, safety requirements, and governmental laws, regulations or ordinances.
  - d. The performance or quality of work of any architect or contractor.
  - e. Architect/Designer shall review/implement soils tests requirements.
- The Architectural Review Committee: Membership shall consist of individuals appointed by The Settlement at Willow Grove. Meetings are held as requests are received.
- Review Fees: Review fees are established by The Settlement at Willow Grove. The Settlement at Willow Grove reserves the right to waive these fees at its discretion.
- Review Policy: The Settlement at Willow Grove reviews the submission and either grants approval, approval with stipulations, or denies approval. The owner is notified of the decision in writing and/or drawings within thirty days from the date of receipt. One set of plans will be returned with comments. The Settlement at Willow Grove may deny approval because the application is incomplete or inadequate. If approval is not granted, a revised application may be submitted and reviewed in the same fashion as the initial application. If the application is denied approval, a formal appeal may be made in writing to The Settlement at Willow Grove, attn: Architectural Review Committee.
- Application Withdrawal: An application for withdrawal may be made without prejudice.
- Variances. All variance requests pertaining to The Design Guidelines must be made in writing. Any variance granted shall be considered unique and will not set precedence for future decisions.
- Approval of Builders. All builders must be approved by The Settlement at Willow Grove. A list of pre-approved builders who understand the high quality of construction expected at The Settlement at Willow Grove is available from the developer. A builder not on the list must receive approval by The Settlement at Willow Grove.
- Construction Inspection. Periodic inspections may be made by The Settlement at Willow Grove while construction is in progress to determine compliance with the approved plans and specifications. The Settlement at Willow Grove is empowered to enforce its policies as set forth in The Design Guidelines and the Declarations of Covenants by any action, including an action in a court law, to ensure its compliance.
- Waiver and Additional Requirements. The Design Guidelines has been adopted to assist the owners in connection with the design review procedure. However, The Settlement at Willow Grove has the right to waive the Design Guidelines requirements on the basis of architectural merit or demonstrated hardship.

BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_ BUILDING TYPE: \_\_\_\_\_

<b>OWNER</b>	OWNER: _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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<b>ARCHITECT</b>	ARCHITECT / DESIGNER: _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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<b>LANDSCAPE</b>	LANDSCAPE ARCHITECT (IF SELECTED): _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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<b>BUILDER</b>	BUILDER (IF SELECTED): _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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TWO SETS OF SITE PLANS, FLOOR PLANS, AND ELEVATIONS ARE TO BE SUBMITTED.  
ONE STUDY MODEL IS TO BE SUBMITTED (FOR PARTY WALL CONDITIONS).

DATE SUBMITTED: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

CONSTRUCTION DOCUMENT REVIEW APPLICATION

BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_ BUILDING TYPE: \_\_\_\_\_

<b>OWNER</b>	OWNER: _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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<b>ARCHITECT</b>	ARCHITECT / DESIGNER: _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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<b>LANDSCAPE</b>	LANDSCAPE ARCHITECT (IF SELECTED): _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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<b>BUILDER</b>	BUILDER (IF SELECTED): _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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<b>INTERIOR</b>	INTERIOR DESIGNER (IF SELECTED): _____ ADDRESS: _____ TELEPHONE: _____ FAX: _____
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\* BE SURE TO SUBMIT CONSTRUCTION DOCUMENT REVIEW PAPERWORK BEFORE SENDING PROJECT OUT TO BID. \*

TWO SETS OF THE FOLLOWING DOCUMENTS ARE TO BE SUBMITTED:  FORM A (STAMPED)  SITE PLAN  FLOOR PLANS  DETAILS  
 FORM B  ELEVATIONS  LANDSCAPE PLANS  
 FORM C

DATE SUBMITTED: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_



MATERIALS LIST

BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_ BUILDING TYPE: \_\_\_\_\_

ELEMENTS: \_\_\_\_\_ DESCRIPTION (INCLUDE MANUFACTURER AND PRODUCT # WHERE APPROPRIATE)

RAILINGS \_\_\_\_\_

CHIMNEY \_\_\_\_\_

DOORS: MAIN ENTRANCE \_\_\_\_\_

OTHER \_\_\_\_\_

DRIVEWAY \_\_\_\_\_

WALKS \_\_\_\_\_

GARAGE DOOR \_\_\_\_\_

FENCE GATES \_\_\_\_\_

GUTTER \_\_\_\_\_

LIGHTING \_\_\_\_\_

DECK \_\_\_\_\_

ROOFING \_\_\_\_\_

SHUTTERS \_\_\_\_\_

SOFFIT \_\_\_\_\_

WALLS \_\_\_\_\_

\_\_\_\_\_

WINDOWS \_\_\_\_\_

\_\_\_\_\_

IDENTIFY THE PROPOSED MATERIALS AND COLORS AS NOTED ABOVE. INCLUDE PERTINENT INFORMATION OR SAMPLES, SUCH AS PHOTOGRAPHS OR CUT SHEETS. INCLUDE COLOR SAMPLE BOARD FOR ALL PAINTED, STAINED, OR FACTORY-COLORED MATERIALS.

DATE SUBMITTED: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

# The Settlement at Willow Grove

DESIGN REVIEW

## DESIGN REVIEW PROCEDURE

ARCHITECTS  
SOUTHWEST  
© COPYRIGHT 2006

Submit two copies of all required documents and drawings to \_\_\_\_\_, Attn: \_\_\_\_\_ at:  
(Mailing address) (Physical Address)

All documents shall include the name of the project, The Settlement at Willow Grove, block and lot number, building type, owner(s)' name(s), and the date.

### Step 1. Review Documents

In order to proceed, you should have reviewed the following documents:

- The Lot Purchase Agreement.
- The Design Guidelines which consists of the Regulating Plan, the Urban Regulations, and the Architectural Regulations.
- The Declaration of Covenants.
- The Design Review Procedure (this document).
- The list of recommended architects, landscape architects, and approved builders.

### Step 2. Sketch Review

This review confirms a correct interpretation of The Design Guidelines. The Settlement at Willow Grove will stamp the drawings upon approval.

- Form A: Sketch Review Application
  - Schematic Design Drawings as outlined below:
    - Site Plan (1/16" = 1') showing:
      - North arrow
      - Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines.
      - Drives and walks, with dimensions of each. Existing trees shown.
      - Any garden information.
      - Floor plans (1/8" = 1' or 1/4" = 1')
    - Elevations (1/8" = 1' or 1/4" = 1') showing:
      - Porches, balconies, doors, and windows.
      - Principal materials rendered and specified.
      - Height of each floor, eave and maximum height in relation to ground level.
      - Roof pitch.
- Variances: If there are any variances to The Design Guidelines, submit a description of them and the justification based on merit or hardship.

Step 3. Construction Documents Review  
\* Be sure to submit construction Document Review paperwork before sending project out to bid.\*

This review checks the construction documents for compliance with The Design Guidelines and verifies that recommendations made at the sketch review have been incorporated. Conformity to applicable local regulations and building codes is the responsibility of your architect or builder. The Settlement at Willow Grove will stamp the drawings upon approval.

- Form A: Sketch Review Application bearing The Settlement at Willow Grove's stamp of approval.
- Form B: Construction Document Review Application
- Form C: Materials and Finishes List
- Construction Documents as outlined below:
  - Site Plan showing:
    - 1" = 20': Building footprints and setbacks from adjacent properties on all 4 sides. (See Site Plan sketch).
    - 1/16" = 1': North arrow; property lines; and setbacks with dimensions:

- Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines; location of parking on site; drives and walks with dimensions of each.
- Floor Plans (1/4" = 1') showing:
  - Rooms dimensioned and uses labeled.
  - All windows and doors with swings shown.
  - All overhangs of doors and roofs as dashed lines.
  - Overall dimensions.
  - Total square footage (enclosed and porches shown separately).

The Settlement at Willow Grove will approve, approve with stipulations, or deny continued construction. The owner may also be asked by The Settlement at Willow Grove to stake out the building, garden walls, fences, and trees to be removed.

If you have not selected a Builder by this time, you should do so now.

- Elevations (1/4" = 1') showing:
  - Porches, balconies, doors, and windows.
  - Principal materials rendered and specified.
  - Height of each floor, eave and maximum height in relation to ground level.
  - Roof pitch.
- Details (3/4" = 1' or 1-1/2" = 1') showing:
  - Eaves.
  - Door and window surrounds.
  - Porches.
  - Others as requested by The Settlement at Willow Grove.
- Landscape Plan delineating tree save areas and new plantings by common species names.
- Variances: If there are any variances to The Design Guidelines, submit a description of them and the justification based on merit or hardship.